

High Street Example Commercial Building Survey

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INTRODUCTION

Firstly, may we thank you for your instructions of XXX; we have now undertaken an independent Building Survey (formerly known as a Structural Survey) of the aforementioned property. This Survey was carried out on XXX.

The Building Survey takes the following format; there is an introductory section (which you are currently reading), which includes a synopsis of the building, and a summary of our findings.

We then go through a detailed examination of the property starting with the external areas working from the top of the property down, followed by the internal areas and the buildings services. We conclude with the section for your Legal Advisor and also attach some general information on the property market.

We are aware that a report of this size is somewhat daunting and almost off-putting to the reader because of this. We would stress that the purchase of a property is usually one of the largest financial outlays made (particularly when you consider the interest you pay as well).

We recommend that you set aside time to read the report in full, consider the comments, make notes of any areas which you wish to discuss further and phone us.

We obviously expect you to read the entire report but we would suggest that you initially look at the summary, which refers to various sections in the report, which we recommend you read first so that you get a general feel for the way the report is written.

As part of our service we are more than happy to talk through the survey as many times as you wish until you are completely happy to make a decision. Ultimately, the decision to purchase the property is yours, but we will do our best to offer advice to make the decision as easy as possible.

This Building Survey is confidential and not to be shared with the vendor (seller) or estate agent or parties working on their behalf without written consent from the surveyor that has produced the Building Survey. During the course of discussions/negotiations with the vendor/estate agent/parties working on their behalf if they wish to see the Report we suggest you ask them which specific section and send them this section via a photograph or a scan. The Report remains our copyright and should not be reproduced without written consent from the surveyor.

THANK YOU

We thank you for using our surveying services and taking the time to meet us during the building survey.

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REPORT FORMAT

To help you understand our Report we utilise various techniques and different styles and types of text, these are as follows:

GENERAL/HISTORICAL INFORMATION

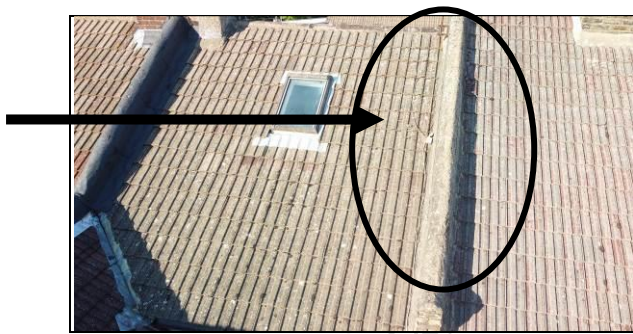
This has been given in the survey where it is considered it will aid understanding of the issues, or be of interest. This is shown in "italics" for clarity.

TECHNICAL TERMS DEFINED

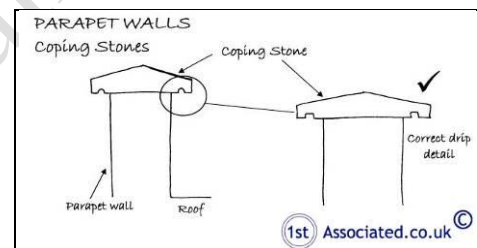
Throughout the Report, we have endeavoured to define any technical terms used. This is shown in "Courier New" typeface for clarity.

A PICTURE IS WORTH A THOUSAND WORDS

We utilise photographs and sketches to illustrate issues or features. In some photographs a pencil, pen, circle or arrow has been used to highlight a specific area. We also use sketches to give guidance and clarity on various issues in the property and we use them to help you understand the issues, scenarios and situations better.



Rear parapet wall



Sketch example

ORIENTATION

For the purposes of the report, we have taken Canterbury Street as the front. Any reference to left or right is taken from the front of the property, including observations to the rear, which you may not be able to physically see from the front of the property.

ACTION REQUIRED AND RECOMMENDATIONS

We have used the term **ACTION REQUIRED** where we believe that there are items that you should carry out action upon or negotiate upon prior to purchasing the property. Where a problem is identified, we will do our best to offer a solution. However, with most building issues, there are usually many ways to resolve them dependent upon cost, time available and the length of time you wish the repair/replacement to last.

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SYNOPSIS

SITUATION AND DESCRIPTION

This is a two storey mid-terraced property, which has been extended to the rear and amended over the years, with a converted roof extension. We understand it has relatively recently been converted into a pharmacy at ground floor level.

There is a small area to the front of the property, then the path and the road.

To the rear is an outside area, which is currently full of building materials and pharmacy waste. There is a shed to the rear of the garden (with an asbestos roof).

The fence to the right side is timber, which is partly down. The left side is a mixture of materials, as it is to the rear, where there is a gate that leads into an alleyway, which then leads up to a side road.

The property sits on a sloping site, falling towards the road to the front of the property.

There is no parking available directly outside the property and we would say that parking in the area is generally problematic.

We understand you currently lease the property and you are looking/considering buying it.

We believe that the property was built in Victorian era. If the exact age of the property interests you your Legal Advisor may be able to find out more information from the Deeds.

ACTION REQUIRED: Your legal advisor needs to check and confirm all of the above.

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LOCATION PLANS



Note;

The photographs identify the building and is not necessarily where the boundaries, etc are.

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EXTERNAL PHOTOGRAPHS



Front view



Rear view



Street view



General view or roofs to rear
Aerial view – 360 photo



Front ramp into pharmacy



Rear garden and shed.
The area was full of stored/
waste items

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FACILITIES

(All directions given as you face the property)

We have included a list of the facilities that we have viewed and there may be other areas. The following gives a general overview. These need to be checked and confirmed by your Legal Advisor.

Ground Floor

Trading Area

- 1.0) Shop area
- 2.0) Front left consulting room

Back of Shop Area

- 3.0) Shop counter
- 4.0) Prescriptions area
- 5.0) Single toilet under stairs
- 6.0) Rear right office
- 7.0) Rear left access to staircase

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First Floor private living accommodation

- 1.0) Landing
- 2.0) Front right staircase to room in roof
- 3.0) Front bedroom
- 4.0) Middle bedroom
- 5.0) Middle bathroom
- 6.0) Rear kitchen

Top Floor private living accommodation

- 1.0) Room in roof

Outside Areas

The property has a small area to the front.

There is no parking, with double yellow lines outside the property and we would say parking is difficult in the area.

To the rear is a garden, which was full of stored items/waste material at the time of the survey. To the rear of the garden is a shed, with asbestos roof.

Signage

There is signage on the shop front and also a pharmacy green cross light box.

ACTION REQUIRED: Your Legal Advisor needs to check and confirm what your legal rights are with regard to access and parking and permitted hours of work.

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INTERNAL PHOTOGRAPHS

(All directions given as you face the property)

This is a photographic record of the property on the day we viewed the property. We have not necessarily taken photographs of each and every room.

Ground Floor – front of house



Front of shop



Shop to left side, looking towards door into consulting room



Front left consulting room

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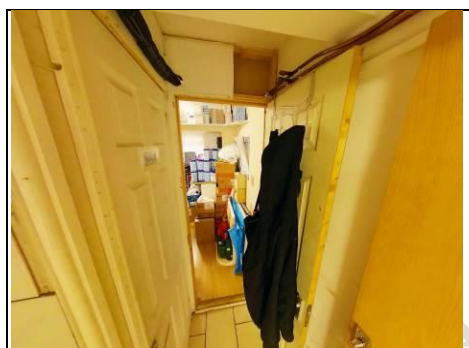
Ground Floor – Back of house



Dispensing/prescriptions area



Rear office



Link corridor



Shelving in rear office/opening through original external wall



Rear toilet



Rear left exit/fire exit.
Blocked at time of survey

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First Floor



Front bedroom



Kitchen



Corridor



Staircase to ground floor
and landing



Middle bedroom



Bathroom

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Room in Roof

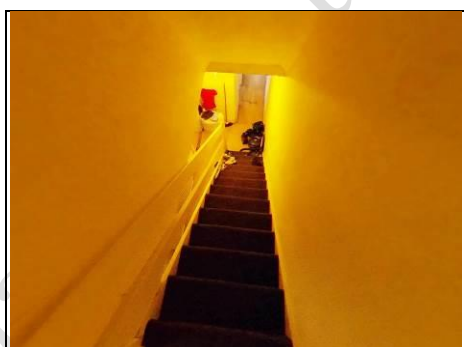
The amount of stored items in the room in the roof limited our inspection. There is usually access available in rooms in roofs to inspect the underside of the main roof. Please note these areas have not been inspected.



Room in roof to front



Room in roof and roof window to rear



Staircase to top floor



Room in roof externally



Roof window externally

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SUMMARY OF CONSTRUCTION

External

Chimney	Front right brick chimney, Rear right chimney removed – mineral felt covered
Main Roof:	Pitched, clad with concrete tiles One roof window to rear
Main Roof Structure:	Not viewed, assumed cut timber roof
Rear Roof:	Pitched, clad with concrete tiles
Single Pitched Roof:	Pitched, clad with concrete tiles, with internal gutter
Front Flat Roof:	Covered with felt
Rear Flat Roof:	Covered with felt
Gutters and Downpipes:	Plastic
Soil and Vent Pipe:	Plastic, to rear left corner
Walls:	Flemish bond brickwork Unpainted render and painted render
Fascias and Soffits:	Painted timber
External detailing:	
Windows:	Metal windows double glazed
Doors:	Entrance door Rear door

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Internal

Ceilings:	Mixture of old and new plaster (assumed)
Perimeter Walls:	Mixture of old lime plaster and modern wet plaster and dry lining/false walling (assumed)
Internal Walls	Mixture of solid and studwork (assumed) More studwork walls than we normally come across, indicating walls moved and altered
Floors:	Ground Floor: Suspended timber floor (assumed) and solid under foot assumed concrete to rear
	First Floor: Joist and floorboards with embedded timbers (assumed)
	Room in Roof: Converted ceiling joists (assumed)

Services

We believe that the property has a mains water supply, mains drainage, electricity and gas (assumed). We have not been provided with any test certificates or inspected at this point of time.

Heating:	There is a Heatline boiler located in the kitchen
Electrics:	The electric fuse board is 1980's-2000's and is located to front right within shop area
Gas:	The consumer unit was not located
Drainage:	The manhole is located to the rear

The above terms are explained in the main body of the Report.

We have used the term 'assumed' as we have not opened up the structure.

ACTION REQUIRED: Your Legal Advisor needs to check and confirm the above and advise us of anything they require further clarification on before legal commitment to purchase the property.

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EXECUTIVE SUMMARY

Summaries are not ideal as they try to précis often quite complex subjects into a few paragraphs.

It is inevitable with a report on a building of this nature that some of the issues we have focussed in on you may dismiss as irrelevant and some of the areas that we have decided are part of the 'character' of this property you may think are very important. We have taken in the region of 250 photographs during the course of this survey and many pages of notes, so if an issue has not been discussed that you are interested in or concerned about, please phone and talk to us before you purchase the property (or indeed commit to purchasing the property), as we will more than likely have noted it and be able to comment upon it; if we have not we will happily go back.

We have divided the Executive Summary into 'The Good/Plus Points', 'The Bad/Medium Priority' and 'The Ugly/High Priority', to allow you to clarify and focus on exactly what the issues are.

There is presently an interesting and active property market which we feel is being affected by the Stamp Duty holiday and Coronavirus (Covid-19); you need to take this into consideration when purchasing the property plus the future potential market.

Introduction

The property is in poor condition and has a lot of stored items and as such it simply is impossible to identify every single individual problem in a building survey such as this. Where access is available we have viewed the areas and identified problems. A clearing of the property to allow us full access to see areas, such as external walls, would help identify further problems.

ACTION REQUIRED: We would recommend a general overall clearing of the stored items and that a Schedule of Condition is carried out on a per room basis, which would then allow Schedules of Work to be produced, for you to tender the work cost.

The building survey offers a more broad brush view of the property, where we have identified problems. We have also offered solutions and budget costs. This should then be negotiated off the market value of the property.

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It should also be noted that the costs of your time, general inconvenience, any business interruptions etc should also be calculated into the amount to be reduced off the open market value of the property.

We state that the property at present does not meet several legal standards and is not to the standard we would expect to find for a property that is leased on a full repairing and insuring lease.

The Good/Plus Points

Survey reports often are full of only the faults and general 'doom and gloom', so we thought we would start with some positive comments on the property!

- 1) You are already operating from the property so you already have a good idea of what works for you and what does not and how well the business operates or not.

We are sure you can think of other things to add to this list.

The Bad/Medium Priority

Problems / issues raised in the medium priority section are usually solvable, but often need negotiation upon. However, a large number of them may sometimes put us off the property.

We will now look at the property, working from the top down to the bottom.

1.0) Chimneys removed

When this property was originally built the rooms would have been heated by real fires and as such would have chimneys. From what we can see, the chimneys have been removed, either partially or completely, and as such there should have been structural supports added, Building Regulations Approvals obtained, together with Party Wall agreement with the neighbour, which your legal adviser needs to check and confirm.



Front and rear chimney removed/partially removed

~ Aerial View - 360 Photo ~

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Close up front chimney
~ Aerial View - 360 Photo ~



Close up rear chimney
~ Aerial View - 360 Photo ~

We discuss later in within this report the structural integrity of the property, as we feel these chimneys have been removed/partially removed incorrectly, which has affected the structural integrity of the property.

However, a further detailed information is required from your solicitor for us to be able to comment further.

ACTION REQUIRED: Your legal adviser needs to check and confirm for us to be able to comment further, together with detailed drawings showing exactly what has happened with this property and also the adjoining properties, which could have chimneys which are either helping or hindering the structural integrity of this property.

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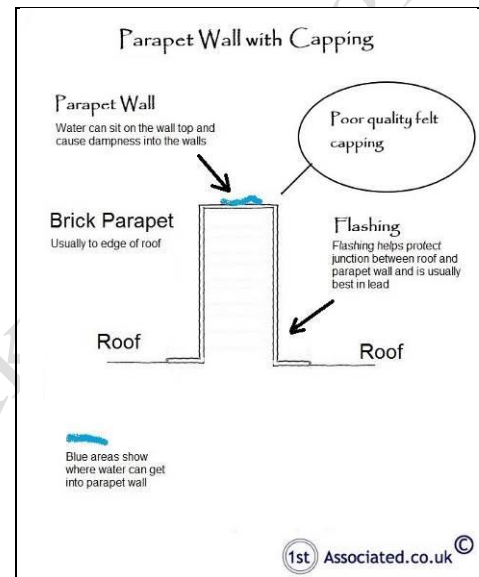
2.0) Parapet walls

The parapet walls are small walls at roof level. They are covered with mineral felt, indicating to us that there have been leaks, as covering them with mineral felt is not normal practice.

There has also been a product known as Flashband used which is a stick on flashing. Again we would term this as temporary/DIY quality work. We can see it has had poor quality repairs.



Felt over rear parapet wall with Flashband repairs to base
~ Aerial View - 360 Photo ~



Parapet wall with felt capping



Felt over parapet with Flashband flashing repairs
~ Aerial View - 360 Photo ~



Poor quality repairs on a poor quality felt capping
~ Aerial View - 360 Photo ~

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Flashband Defined

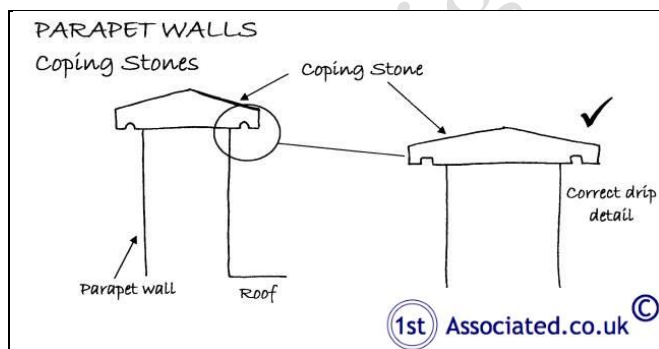
Flashband is a sticky backed felt, which is best used for temporary repairs only.

Flashings Defined

Flashings prevent dampness from entering the property, usually at junctions where materials change. Such a junction is the one between the chimney and the roof.

We much prefer to see a coping stone or capping.

ACTION REQUIRED: We recommend the entirety of the felt capping is stripped back and if possible a coping stone is added and repairs are carried out to the parapet walls.



Parapet wall with coping stone

ANTICIPATED COST:

This is difficult and awkward work and may require scaffolding. Expect costs in the region of £5,000 to £10,000; please obtain quotations before you legally commit to purchase the property.

Main roof unknowns

We can see there is damp staining in the front bedroom. Unfortunately we have not been able to have a good look at this roof internally but externally we can comment that at the very least there looks to be problems with the parapet wall roof detail, we noticed a tree growing out of the front left parapet.

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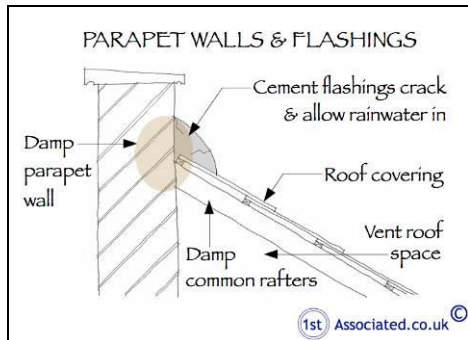




Damp staining to front bedroom to left hand side



Damp staining in front bedroom to right hand side



Plant wall problems with cement flashings



Plant growing out of front left parapet and cement flashing – we much prefer to see a lead flashing



Front left and right parapets

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3.0) Roofs, roof covering and roof structure

Roofs

First of all we need to start by saying that we have had a limited view of the roofs, with the main roof we could see being the rear roof.

Originally this property would have had a slate roof which has been re-roofed in a heavier concrete tile. Often these can be too heavy for the original roof structure (as slate is relatively lightweight in comparison). There should have been additional structural strengthening of the roof structure and Building Regulations Approval should have been obtained for changing materials, which often requires structural strengthening of the roof.

Rear roof covering

To the rear roof the concrete tiles we can see that some of the tiles have slipped. We can also see poor quality detailing to the parapet walls, which we have already talked about, also where the roof adjoins the other roof and the surrounding wall.



Problems with rear roof

Purple box: slipped/out of alignment concrete tiles

White oval: cement and bitumen repaired flashing.

Yellow oval: what looks like a poor quality lead flashing.

Black oval: verge where the cement is coming away, which can let water in

We have not had access into the front of the main roof to see the structure. What we can see in the rear roof is that some of the timbers are deteriorating and rather than replacing these they have been strengthened by adding additional timbers to them, what we term as back to backing.

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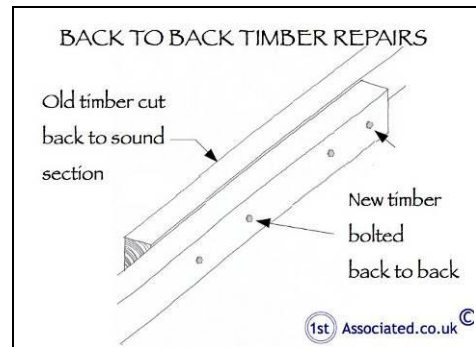
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Back to backing of timbers in rear of main roof



Back to backing

Our concern is the overall quality of the work to the roof, it is what we would term as DIY type work.

We noted a nail in the roof. First of all we rarely see nails through the roof like this. This is where the roofer has miss hit the nail that fixes the batten on (the timber that holds the tile in place). This gives us an indication of the general standard of work/speed at which it was carried out.



Nail in the rear of the roof

ACTION REQUIRED: The existing owner should be contacted to see if there is any form of insurance backed guarantee in relation to the roofing work.

Ideally parts if not the whole of the roof needs to come off. We would reiterate that we have had a very limited inspection of the main front roof, so there may also be structural problems as well. The wall plates need to be checked where they hold the common rafters in place and the detailing improved to the valley gutters and the flashings.

This all needs to start with getting the parapet wall detailing correct so that no water is getting into the structure, as mentioned in the previous section.

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ANTICIPATED COST: Very difficult to cost this, it will be in the thousands of pounds. There could be a saving with combining the chimney work, the parapet wall work and the roof work. We would budget another £5,000 to £10,000. Please obtain quotations before you legally commit to purchase the property.

4.0) Rear left single pitched roof

This is a shallow single pitched roof with a lead flashing, which sits on what looks to be the boundary line.

It has an internal gutter, we are not keen on these as they tend to leak sooner or later, either because the roof is so shallow or because of the internal gutter.

We can see there looks to have been water damage and deterioration already from the condition of the left hand wall and the coping stones look like water is leaking through. We think in the long term this will cause damage, deterioration and dampness.



Left side single pitched roof next to boundary wall
~ Aerial View - 360 Photo ~



Close up single pitched roof



Capping stone needs bedding in

ACTION REQUIRED: The internal gutter needs to be checked and cleared to ensure it is watertight and you need to re-bed/repair the boundary wall and associated coping stones.

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It is difficult to age this wall but it may have been part of the “new” work that has been carried out, therefore your legal advisor should check that Building Regulations, Planning and Party Wall Agreement Approval has been obtained.

5.0) Rear flat roof over office

We would start by commenting that this is a flat, flat roof, meaning that there is no good fall on it. There is also no gutter. We think that water will be sitting on it, which causes accelerated deterioration.

We can see there is wear and weathering on the roof.

We believe there is a lot wrong with this roof:

1. First of all it is a flat, flat roof, meaning there is no good fall on it. However, even if it did have a fall there is no gutter to catch the water, so presently because there are no upstands around the flat roof (marked with black ovals on sketch) we think that water will be discharging down the external walls.
2. We also noticed that the felt work has not been carried out very well and bricks are visible to the front of the wall.
3. Also, we would add that we think the flashing is poorly carried out and we would prefer it to be replaced with lead.



Arrow shows the direction we believe the fall should go in

~ Aerial View - 360 Photo ~



Felt flashing

~ Aerial View - 360 Photo ~

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ACTION REQUIRED: We recommend a new roof, with insulation cut to falls, and the adding of guttering and downpipe. The downpipe needs to discharge into a soak-away.

We think due to the general standard of workmanship the decking will also need to be checked.



No gutter on rear flat roof
~ Aerial View - 360 Photo ~

ANTICIPATED COST:
Expect costs in the region of £7,500 to £12,000, depending upon whether the decking and ceiling below need work. Please obtain quotations before you legally commit to purchase.

6.0) Structural movement and cracking

We noted cracking to the brickwork to the rear of the property. It looks to have been patch repaired.



Crack running down rear wall
~ Aerial View - 360 Photo ~



Crack running up left side
~ Aerial View - 360 Photo ~

Within the roof we could also see straight joints which we believe are cracks. We would also say something unusual has happened to this wall due to the way it is bedded into the roof.

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We also noted this wall is the external wall which has had the opening formed in it to gain access into the rear office. It should have had a structural support added and it may also be contributing to the movement.



Movement in roof space to rear wall



Close of cracks in roof space to rear wall

ACTION REQUIRED: As this is a one-off inspection we believe that caution is the best way forward. We would recommend the existing owners take out an insurance claim, advising that the cracking has been noted by a structural surveyor (this should cost them nothing other than time to write the letter/email). This usually means that the insurance company will carry out a monitoring exercise (the Building Research Establishment recommend monitoring any cracks for a minimum of one year) to establish if there is any progressive movement. Your future liability should be limited to the cost of the excess on the insurance providing the insurance company is happy for you to take over the insurance claim.

Your solicitor needs to ensure this is a legally watertight process and ensure your liability is limited to paying the excess on the insurance only.

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7.0) Cracking to rendered wall

We noted generally there is cracking to the rear rendered walls. This could relate to the movement in the property, it could also relate to the general dampness getting into the building. It is very difficult to be certain as there was a lot of stored items against the property, as you are aware.

Once the stored items have been removed we would be able to get a better view to be able to advise further (as we could with the roof if the stored items are cleared in the top room and access is available into the roof space to view the roof structure).



Crack to rear render



Crack below window to rear

ACTION REQUIRED: If the render cracks relate to the rear flat roof discharging water on it. Once the rear roof work has been carried out then we would look to re-render.

We would also sort out the writing in this area;

For example:

There is a cable on the neighbour's side of the render.



Deteriorating render and area of unpainted render, plus electric cable running up wall on neighbour's side
~ Aerial View - 360 Photo ~

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We would also suggest you then phone our office to book a re-visit so we can look at the property when it has been cleared of stored items so the walls are more visible to the rear of the property.

ANTICIPATED COST: Set aside the sum of £3,000 to £5,000. Please obtain quotes before you legally commit to purchase the property.



Mass of stored items in front of rear rendered wall
~ Aerial View - 360 Photo ~

8.0) Windows misting over

Some of the windows are misting over and many are not openable and sealed.



Problems with front bedroom window



Misting over window in middle bedroom

ACTION REQUIRED: We would recommend replacing all the windows with double glazed windows with trickle vents.

Trickle Vents Defined

Trickle vents allow a trickle of air through, therefore stopping/reducing the likelihood of condensation occurring within the property.



Trickle vents

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Also adding fire escape windows as necessary.

ANTICIPATED COST: In the region of £5,000 to £10,000; please obtain quotations before you legally commit to purchase the property.

9.0) Fire doors

We believe the property as a whole, particularly the private living accommodation, would be better if there were fire doors, as well as a hard wired fire alarm system in the property.

At the time of our inspection the only fire escape we could see from the upstairs area was partially blocked by stored items from the pharmacy, which should be avoided.



Kitchen door is a fire door and is falling off its hinges

Also there are no illuminated fire signs identifying the way out.

ACTION REQUIRED: We recommend you get professional advice via a Fire Officer with regard to what fire safety systems would be good for you.

We would recommend you install a hard wired fire alarm system to the whole building, which indicates where any fires start.

Also add illuminated fire signage which shows the way out, which we would have installed with battery back-up, together with standard requirements, such as fire blankets, fire hoses etc.

We recommend fire doors with door closers;

For example:

The kitchen door is literally falling off its hinges.

ANTICIPATED COST: Budget for £2,500 to £5,000; please obtain quotations before you legally commit to purchase.

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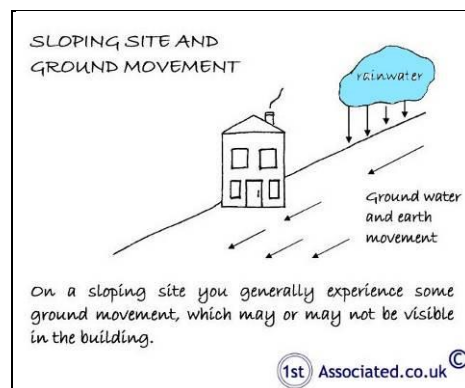
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10.0) Dampness – sloping site

The property sits on a sloping site, running towards the road, albeit it has been levelled out to some extent, although, as you can appreciate, it was difficult to see due to the stored items but we think there is still a fall towards the rear of the property.

We were unable to check this for dampness in the usual way due to the shelving and stored items etc. However, we think the deterioration seen to the rear render probably relates to dampness travelling towards the rear of the property.



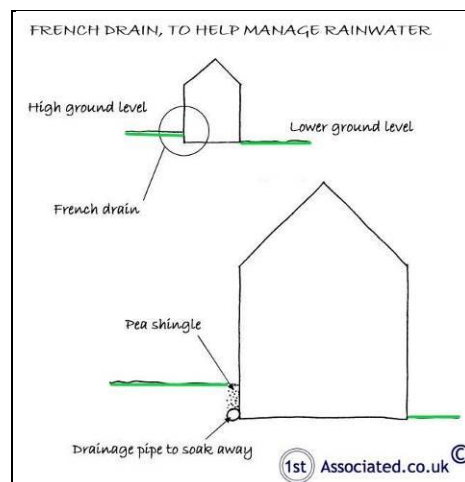
Sloping site



Dampness to rear render

ACTION REQUIRED: We recommend you add a French drain to the rear of the property, with a perforated pipe to the base, running into the nearby drain, subject to getting approval from the local authority/drainage authority.

ANTICIPATED COST: In the region of £2,000 to £4,000; please obtain quotations before you legally commit to purchase the property.



French drain

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10.1) Lateral dampness

We noted that the surrounding properties have render to their walls, which indicated to us that there may be problems with lateral dampness in these properties, even once you have carried out the roofing work we have mentioned in our earlier comments.



ACTION REQUIRED: It may ultimately be better for you to re-render/render the front and rear of the property to make it watertight. However, we would try out the other areas of maintenance of work we have mentioned throughout this report first. We do need to make you aware of this.

Testing for lateral damp to staining by stairs to room in roof

ANTICIPATED COST: Around £10,000 to £20,000 for rendering work; please obtain quotations before you legally commit to purchase.

11.0) Condensation and black mould

We noted black mould in the bathroom. There is no extract fan in either the bathroom or the kitchen. These areas are likely to have condensation, which in turn cause black mould.

We would add that the dampness may also be contributed to by other factors, such as leaking roofs and damp walls.



Black mould in bathroom

ACTION REQUIRED: We would recommend large good quality humidity controlled extract fans be added to kitchens and toilets.

ANTICIPATED COST: We would anticipate costs between £250 to £500 per extract fan depending upon the wiring required; quotations required.

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12.0) Combination of issues

You need to be aware that some of the problems we have mentioned in this report are due to a combination of issues.

13.0) Asbestos

We always have to give a warning of possible asbestos as when this building was being built asbestos although was no longer in use as in larger quantities as was once used, it still was being used for some elements.

In his case we believe the shed to the rear of the garden has an asbestos roof.

Our insurance company requires us to advise we are not asbestos surveyors and advises us to recommend asbestos surveyors are instructed and that you have your own asbestos survey carried out.



Shed in rear garden
~ Aerial View - 360 Photo ~



Asbestos roof
~ Aerial View - 360 Photo ~

ACTION REQUIRED: You need to obtain an asbestos report from the existing owners or have one carried out yourself.

We always recommend all asbestos is removed.

Also we would recommend you obtain certificates as to where they have taken asbestos.

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ANTICIPATED COST: We find asbestos costs vary a great deal, Expect costs in the region of £1,000 to £3,000; please obtain quotations before you legally commit to purchase.

Services

14.0) Dated electrics

The fuse board is located in the kitchen and is dated and it should have been upgraded when the property was refurbished in our opinion.

The electrics failed our earth test twice during the course of the survey. There should be three green lights, we had two red lights the first time, which indicate the live neutral has been wrongly installed. The second time we carried out the test is failed with one red light, which means an unknown fault.



Dated fuse board



First earth test failed, with two red lights showing



Second earth test failed

ACTION REQUIRED: We recommend immediate work is carried out to make the kitchen safe and also a general upgrade of all the electrics. We reiterate, this work needs to be carried out immediately.

We recommend a new fuse board in a metal fire resistant casing.

We also recommend an Institution of Engineering and Technology (IET) test and report to be carried out by an NICEIC registered and approved electrical contractor or equivalent.

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ANTICIPATED COST:

1. £250 - £500 for test and report
2. £250 - £500 for a new fuse board
3. In the region of £100 - £200 per additional socket point
4. Plus any further work recommended

15.0) Heating - boiler

The boiler is a Heatline boiler. It does look relatively new, however the owner had not responded to our correspondence at the time of writing this survey report so we have no information with regard to its age or whether there are any service records for it.

There are some electric heaters in the property in the front of house shop area, which also need checking.



Heatline boiler



Electric heaters

ACTION REQUIRED: We recommend the electric heaters are checked at the same time as the electrical work is being carried out.

It is a legal requirement to have a Gas Safe record for boilers where a property is leased and as a tenant you should have obtained a copy of this. Ask the owners for this if you do not have one for energy bills, records etc.

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16.0) Drainage

We understand you have had problems with the drains. We could see what we would term as an awkward layout and we understand macerators are being used, which can be problematic.

ACTION REQUIRED: You need to make sure that everyone using the toilets knows you have macerators.



Rear manhole – not opened up

We would recommend a closed circuit TV camera report of the drains and clearing as necessary.

ANTICIPATED COST: A few hundred pounds; please obtain quotes.

The Ugly/High Priority

We normally put here things that we feel will be difficult to resolve and will need serious consideration.

We consider this property to be a very risk and would not recommend purchasing it from what we have seen.

Equally, we also understand you are running a business out of it, so you may have to make a personal business decision with regard to this.

We would be more than happy to discuss this further.

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Other Items

Moving on to more general information.

Maintenance

It should be appreciated that defects which would normally be highlighted in a modern property, effectively form part of the property's overall character and style. Such defects are considered acceptable and may not have been specifically referred to as defects within the context of this Report.

This type of property will require ongoing maintenance and repair and a budget for such work must be allowed to ensure it is maintained in good condition. This will prevent undue and unnecessary deterioration.

In this instance we feel the original work is of poor quality and thereafter minimal maintenance has been carried out on the property.

Services

We have carried out a visual inspection of the services and no tests have been carried out. We would comment as follows in brief. More detail is within the main body of the report.

Electrics

We wish to reiterate that we feel the electrical work should be carried out as soon as you receive this report.

ACTION REQUIRED: Make safe and upgrade electrics immediately.

Please see our earlier comments.

Heating

There is a Heatline boiler located in the kitchen.

ACTION REQUIRED: You need to ensure you have Gas Safe records for this as you are sub-letting the property out from what we understand.

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We would recommend that the system be tested and overhauled before exchange of contracts and that a regular maintenance contract be placed with an approved heating engineer.

Lighting

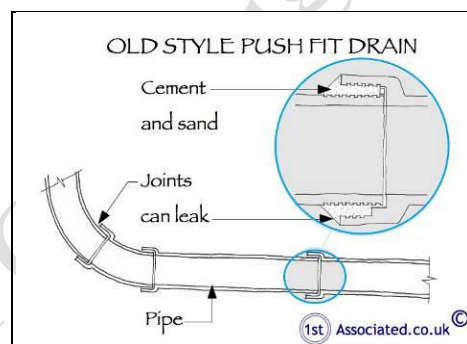
This needs to be appropriate for your commercial needs.

Drainage

We located a manhole to the rear which has not been opened.

In older properties, such as this, drainage was often push fitted together rather than bonded together.

ACTION REQUIRED: The only true way to find out the condition of the drains is to have a closed circuit TV camera report to establish the condition of the drains. In this age of property there have often been leaks over the years.



Push fit drains

Water Supply

There is danger in older properties of having a lead water supply; we would recommend that you speak to the water company to ask them if they have carried out such replacement.

ACTION REQUIRED - SERVICES: We would reiterate that we recommend with regard to all services that you have an independent check by a specialist contractor.

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Purchase Price

We have not been asked to comment upon the purchase price in this instance.

The RICS/Royal Institution of Chartered Surveyors has published information with regard to the Coronavirus (Covid-19) and you specifically need to obtain advice with regard to the value of the building. Be aware there could be an adjustment/drop in the market value when this virus and all the associated matters are taken into consideration.

Estimates of Building Costs

Where we have offered an estimate of building costs please remember we are not experts in this area. We always recommend you obtain quotations for the large jobs before purchasing the property (preferably three quotes). The cost of building work has many variables such as the cost of labour and estimates can of course vary from area to area when giving a general indication of costs. For unskilled labour we currently use between £75 and £100 per day (the higher costs in the city areas) and for tradesmen we use between £100 and £200 per day for an accredited, qualified, skilled tradesman. Other variations include the quality of materials used and how the work is carried out, for example off ladders or from scaffold.

If you obtain builders estimates that vary widely, we would advise the work is probably difficult or open to various interpretations and we would recommend a specification is prepared. It would usually be best to have work supervised if it is complex, both of which we can do if so required.

Please note we do not presently know how building costs will be affected by Covid-19.

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SUMMARY UPON REFLECTION

The Summary Upon Reflection is a second summary so to speak, which is carried out when we are writing the second or third draft a few days after the initial survey when we have had time to reflect upon our thoughts on the property. We would add the following in this instance:

The property is in poor condition, we would term much of the work as DIY quality. We feel a property such as this will also reveal hidden things.

We would stress that the electrics are in what we would term as dangerous condition and need immediate attention.

As you are aware, there are lots of stored items, rubbish, etc, to the rear of the property at the time of the survey which limited our inspection, however we hope this gives you an indication of the sort of problems that you have and need to deal with.

We would also add that you need to deal with many of these things quickly/immediately otherwise it will lead to further problems and deterioration.

We would add that has you occupy the property if you are aware of any issues we have not mentioned we would be more than happy to discuss these further with you.

We would refer you to our comments in the Plus Points, Medium Priority and High Priority Sections and ask that you re-read these.

As mentioned previously, there is an interesting property market which we feel is being affected by the Stamp Duty holiday and Covid-19, and you need to make an assessment as to how it is affecting you.

As a general comment for any work required we would always recommend that you obtain at least three quotations for any work from a qualified, time served tradesperson or a competent registered building contractor prior to legal completion.

We would ask that you read the Report and contact us on any issues that you require further clarification on.

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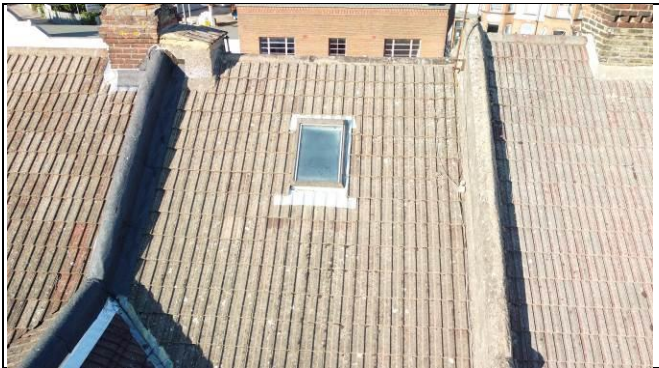


AERIAL VIEW – 360 PHOTOS

Where permission has been obtained from the owners we have carried out aerial photographs using an aerial drone, stationary drone or a mono-pod pole (where the environment and weather is suitable).



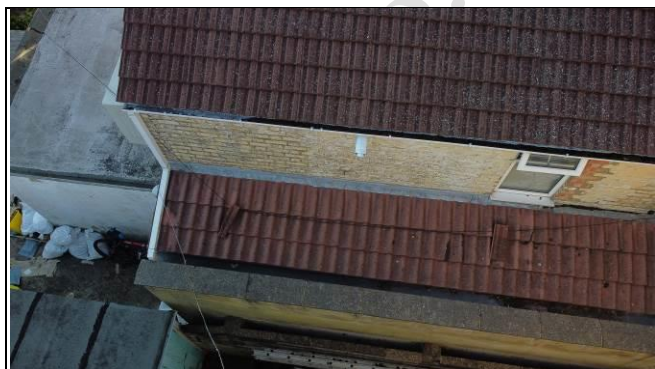
Drone and mono-pod pole



Rear roof, parapet walls and roof window
~ Aerial View - 360 Photo ~



Rear double pitched roof
~ Aerial View - 360 Photo ~



Single pitched roof to left side
~ Aerial View - 360 Photo ~



Rear flat roof
~ Aerial View - 360 Photo ~



Rear garden
~ Aerial View - 360 Photo ~

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THERMAL IMAGE PHOTOGRAPHS

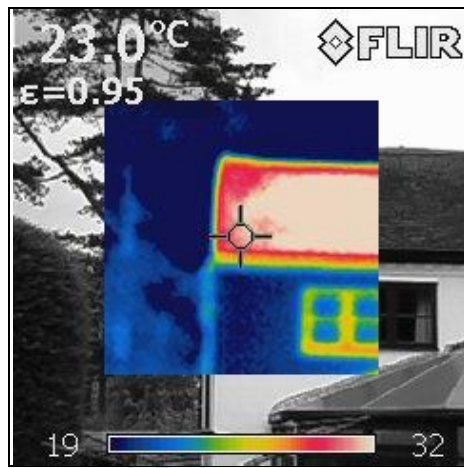
– NOT YOUR PROPERTY

Thermal imaging photography can establish warm and cold areas, it also helps us identify materials within the property. In this case we have not carried out any thermal imaging as the property was not pre-heated and therefore we would not have obtained any beneficial results. Below are example thermal image photographs (**not your property**).

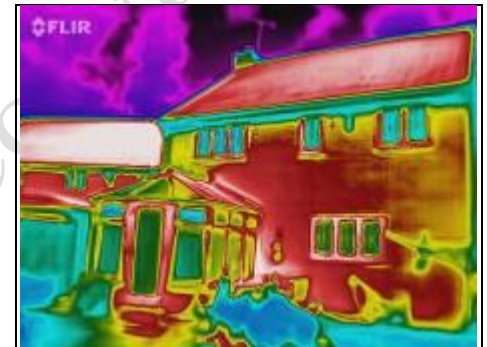
(Key to the colours; blue = cold, red = warm, green/yellow = cool)



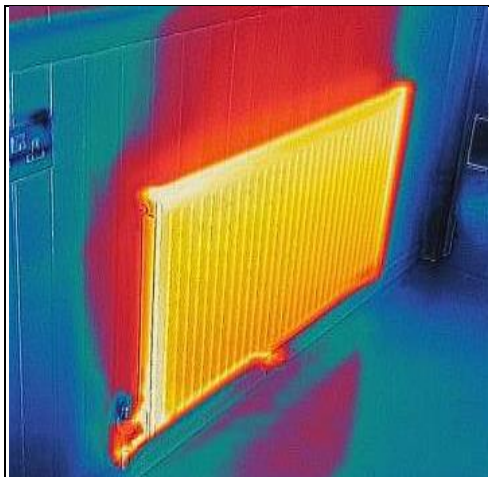
Front view



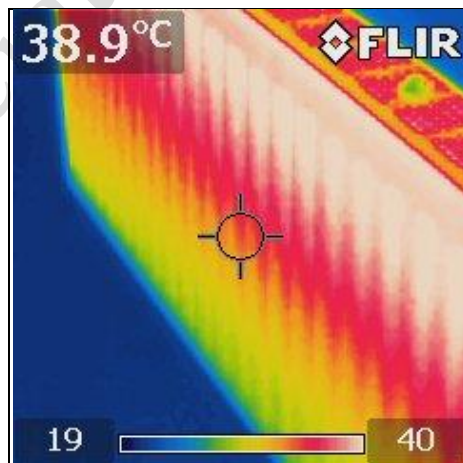
Heat coming through roof



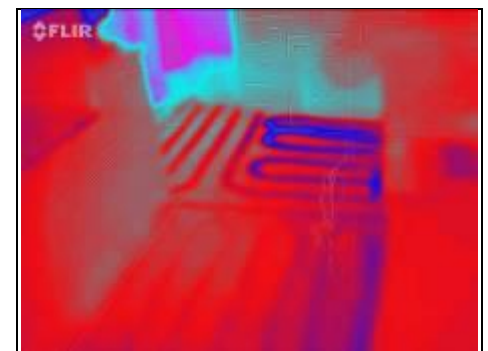
Rear view
Heat from walls



Heat from single panel radiator



Double panel convection radiator



Underfloor heating in kitchen

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MORE ABOUT THE REPORT FORMAT

Just a few more comments about the Report format before you read the actual main body of the Report.

TENURE – FREEHOLD (OR AS GOOD AS)

We have assumed that the property is to be sold Freehold or Long leasehold, with no unusual or onerous clauses and that vacant possession will be available on completion. Your Legal Advisor should confirm that this is the case.

COMMERCIAL AGENTS – FRIEND OR FOE?

It is important to remember that the estate agents are acting for the seller (usually known as the vendor) and not the purchaser and are therefore eager to sell the property (no sale – no fee!). We as your employed Independent Chartered Surveyor represent your interests only.

SOLICITOR/LEGAL ADVISOR

To carry out your legal work you can use a solicitor or a legal advisor. We have used both terms within the report.

TERMS OF ENGAGEMENT/LIMITATIONS

This report is being carried out under our terms of engagement for Residential Building Surveys, as agreed to and signed by yourselves. If you have not seen and signed a copy of our terms of engagement please phone immediately.

OUR AIM IS ONE HUNDRED PERCENT SATISFACTION

Our aim is for you to be completely happy with the service we provide, and we will try and help you in whatever way possible with your property purchase - just phone us.

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THE DETAILED PART OF THE REPORT FOLLOWS, WORKING FROM THE TOP OF THE PROPERTY DOWNWARDS



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EXTERNAL

CHIMNEY STACKS AND PARAPET WALLS AND ROOF WINDOWS

Chimney Stacks

Chimneys developed originally from open fires placed within buildings. From this, the chimney has developed to its present day format where it is used as an aesthetic feature and focal point rather than purely just to heat the room.

There are two chimneys to this property, located to the front right and rear right and sit on the Party Wall (all directions given as you face the property).

Chimney One, located to front right

This chimney is brick finished with a cement flashing. It has been dropped and capped using tiles. We can only see the very top of it and are not sure whether it is supported underneath.



Front right chimney –reduced in size and capped



Close up chimney to rear

ACTION REQUIRED: Please see our comments in the Executive Summary.

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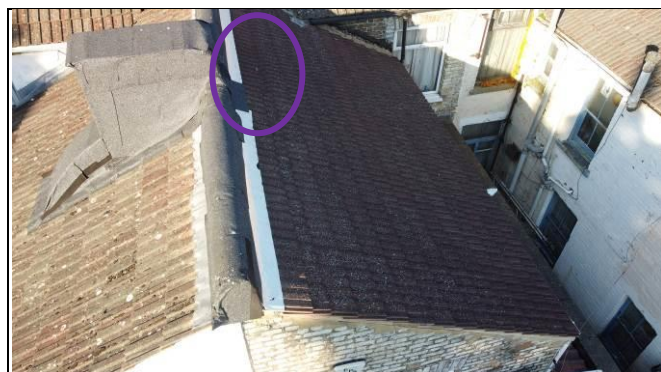
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Chimney Two, located to rear left

This chimney has completely been removed. The neighbour's side has lowered the chimney and capped it with felt.

Our concern is the chimney remains in part and is not being supported, or it may be affecting next door's chimney.



Chimney removed, with neighbour's chimney
felted over
~ Aerial View - 360 Photo ~

ACTION REQUIRED: Please see our comments in the Executive Summary.

Flashings Defined

Flashings prevent dampness from entering the property, usually at junctions where materials change. Such a junction is the one between the chimney and the roof.

Capping Defined

Capping is a practice used when chimneys are no longer in use to prevent moisture from entering the structure in the form of rainwater via the chimney. This usually involves the closing of the chimney with a tile or slab positioned across. It should include vents to allow air circulation.

Cement Fillets/Cement Flashings Defined

This is where cement has been used to cover up or fill the junctions between two areas, for example between a roof and a wall to help prevent dampness. Cement is a brittle material and prone to cracking which in turn allows dampness into the structure. We would always recommend the use of lead flashings.

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Parapet Walls

Parapet walls are usually walls that are above roof level and often sit on the boundary of the property.

In this case there are parapet walls built from brick, we believe with a rendered finish, visible in some areas. We would comment that generally they are in below average condition.

Front parapet walls

These are in poor condition, with cement flashings. There is a tree growing from the front left parapet.



Tree growing out of front left parapet wall and cement flashing



Close up front left parapet



Front right parapet – felted over

Rear parapet walls

These have been felted over and we can see Flashband flashing has been used, which we consider a temporary material.



Felt over rear parapet wall
~ Aerial View - 360 Photo ~



Felt flashing over parapet with
Flashband repairs

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Overall, we think the parapet walls are leaking. They have been repaired using a felt flashing in some areas, which is a poor quality repair with Flashband, and we can see repairs on the repairs.

In other areas there is a render flashing which is deteriorating and could see a tree/bush growing out of the front left parapet.

There are also cement flashings which can be problematic.



Close up of left rendered parapet with cement flashing

ACTION REQUIRED: Please see our comments in the Executive Summary.

Roof Windows

(Known as roof lights or Velux windows which is the trade or generic name)

There is one purpose made modern roof window to the rear room in the roof.

There are signs it has been repaired, as we can see Flashband around it. When we tried to open it internally it would not stay open.



Rear roof window
~ Aerial View - 360 Photo ~



Roof window



Roof window in room in roof

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ACTION REQUIRED: We recommend you repair and redecorate or it may be more economical to fit a new roof window.

You do need to be careful with roof windows, particularly in a room that looks to be being used as a store room as it can leak and go unnoticed.

Party Walls

The party wall relates to shared items, such as chimneys and fire walls. If you do any work on these you will need to deal with the Party Wall Act. Here is a brief explanation of it.

Party Structures Defined - Party Wall Etc. Act 1996

A structure that both parties enjoy the use of or benefit from. An example of this would be where both parties gain support from a wall or utilise a chimney or chimneys.

Any work to party structures, such as party walls or party chimney stacks, require agreement under the Party Wall Act. We would be more than happy to offer you help and advice in this matter.

Specifically in this case we would comment your legal adviser needs to make enquires as to whether Party Wall Notices have been obtained for carrying out the work that been carried out to either side of the property.

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ROOF COVERINGS AND UNDERLAYERS

The Roof Coverings and Underlayers section considers the condition of the outer covering of the roof. Such coverings usually endure the extremes of climate and temperatures. They are susceptible to deterioration, which ultimately leads to water penetration.

Dependent upon the age of your property and the type of construction a protective underlayers may or may not be present, please read on:

We will consider the roofs in four areas:

- 1) Main roof and rear roof
- 2) Rear left single storey pitched roof
- 3) Front single pitched flat roof
- 4) Rear single pitched flat roof

Main Roof

The roof is pitched and clad with a concrete tiles. Originally it is likely to have had a slate roof. Concrete tiles are heavier and the timbers should have been strengthened.

In this case we have not been able to view the front roof, in the rear roof we can see the timbers have been strengthened by back to backing of timber.



Rear concrete tiles
~ Aerial View - 360 Photo ~



Front roof problems

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ACTION REQUIRED: Please see our comments in the Executive Summary.

Rear double storey pitched roof

This is pitched, clad with concrete tiles. There are lots of problems with this roof.



Rear double pitched roof,
with left side lower roof side below
~ Aerial View - 360 Photo ~



Cement fillet flashing and poor valley gutter detail
~ Aerial View - 360 Photo ~

ACTION REQUIRED: Please see our comments in the Executive Summary.

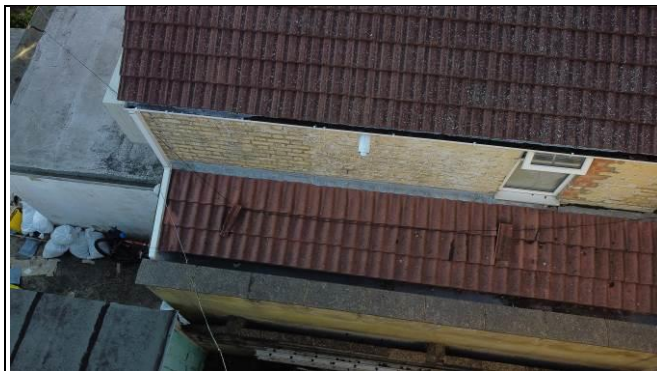


Rear left single pitched roof

This is shallow pitched, clad with concrete tiles and an internal gutter. It is built right up to the boundary wall.



Left side single pitched roof next to boundary wall
~ Aerial View - 360 Photo ~



Rear left side
~ Aerial View - 360 Photo ~



Close up

ACTION REQUIRED: Please see our comments in the Executive Summary.

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Flat Roofs

Whilst these roofs are called "flat", present building regulations and good building practice presently requires a minimum fall of 12 degrees.

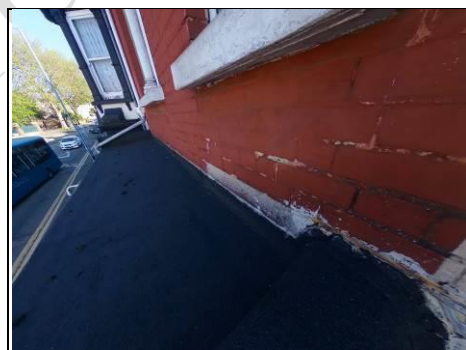
Flat roofs are formed in a variety of materials. Difficulties can arise when the water is not discharged from the roof but sits upon it, as this can soon lead to deterioration which flat roofs are renowned for.

Front flat roof

The front single storey flat roof and is covered with felt. It has a felt flashing, also parapet walls to either side look to be felted over, which we are not keen on.



Front flat roof, with parapet walls to either side



Close up front flat roof

ACTION REQUIRED: We recommend the roof is re-done and the felt removed from the parapet walls to either side and these are repaired properly, and a lead flashing is added.

ANTICIPATED COST: In the region of £2,500 to £5,000; please obtain quotes before legally committing to purchase the property.

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Rear Single Storey Flat roof

This is a flat, flat roof.

There is a comfort cooling system on the wall above the flat roof.



Rear single storey flat roof
~ Aerial View - 360 Photo ~



Rear flat roof



Close up flashing

ACTION REQUIRED: Please see our comments in the Executive Summary.

Further information on flat roofs

Ventilation

If this is a relatively new flat roof it should have met the current Building Regulations which now require flat roofs to be ventilated, which we believe it does not meet.

Building Regulations are not retrospective but the reason for the requirement is to make sure that any moisture that enters the roof construction is dispelled by way of ventilation. We would suggest that if the opportunity arises ventilation should be provided.

Insulation

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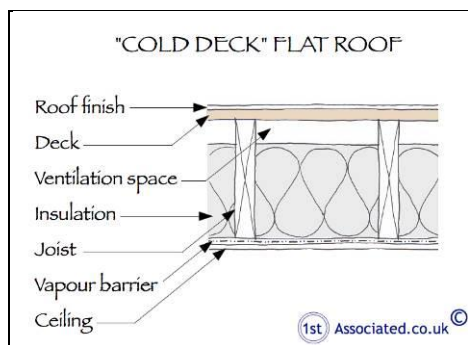
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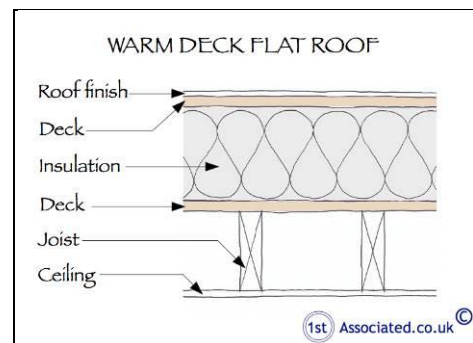
Also it could not be established if there is insulation within the roof or a vapour barrier, without the vapour barrier and combined with inadequate ventilation there will be an increase in the risk of wet or dry rot.

All



Cold roof

the



Warm roof

roofs, including flat roofs, were inspected from ground level with the aid of a x16 zoom lens on a digital camera and/or aerial photographs.

Finally, we were only able to see approximately sixty to seventy percent of the main roof properly from ground level or via any other vantage point that we managed to gain. We have made our best conclusions based upon what we could see, however a closer inspection may reveal other defects.

For further comments with regard to ventilation please see the Roof Structure and Loft Section.

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ROOF STRUCTURE

The roof structure or framework must be built in a manner which is able to give adequate strength to carry its own weight together with that of the roof covering discussed in the previous section and any superimposed loads such as snow, wind, foot traffic etc.

Main Roof

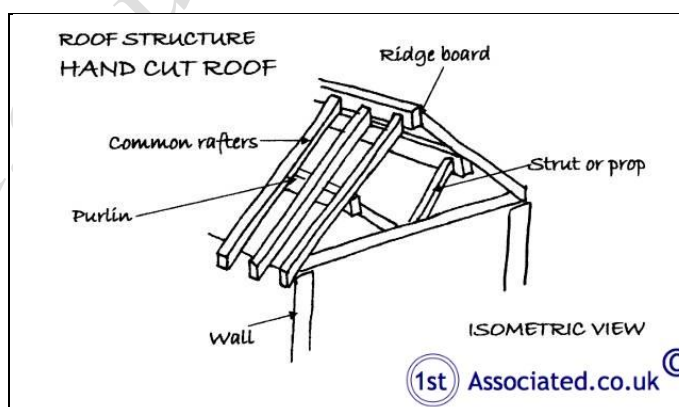
Roof Access

We have not been able to access the main roof. We normally access to see the eaves to the front and rear but we have not been able to in this case.

We were able to view the rear roof.

Main Roof Structure

We have not viewed the main roof structure, we have assumed from its age, type and style it is what is known as a cut timber roof. This is a roof that is purpose made and hand built on site. Without the original design details we cannot categorically confirm that there are no defects.



Cut timber roof

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Rear Roof Timbers

We have not been able to inspect the front of the roof.

Within the rear roof we inspected the roof structure for:

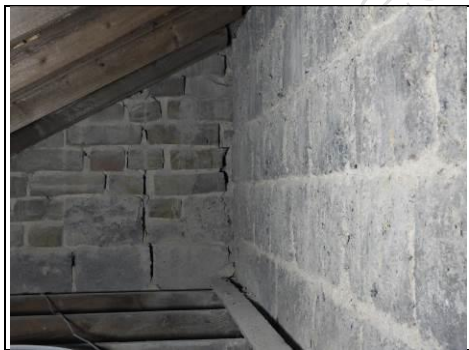
1. Serious active woodworm
2. Structurally significant defects
3. Structurally significant dry rot
4. Structurally significant wet rot



Movement in roof space to rear wall

Our examination was limited by the general configuration of the roof. It is in below average condition for its age, type and style. There is back to backing timbers. We can see that dampness is getting in and we can also see cracking to the rear gable end wall.

ACTION REQUIRED: The only way to be one hundred percent certain is to have the roof cleared and checked



Movement in rear gable end



Close of cracks in roof space to rear wall

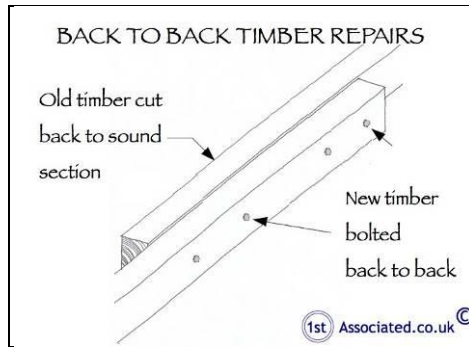
There is back to backing of timbers in the roof space.

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Back to backing



Back to backing of timbers

ACTION REQUIRED: Please see our comments in the Executive Summary.

Fire Walls

We have not been able to view the main roof fire walls.

Fire Walls Defined

Fire walls help prevent the spread of fire through roofs and are a relatively recent Building Regulation requirement.

Ventilation

No ventilation was noted.

Insulation

Please see the Thermal Efficiency Section of this Report.

Electrical cables

There is insufficient quantity of electrical cables in the roof to be able to comment. Please see our further comments in the Services Section of this Report.

Finally, we would ask you to note that this is a general inspection of the roof, i.e. we have not examined every single piece of the roof. We have offered a general overview of the condition and structural integrity of the area.

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GUTTERS AND DOWNPIPES

The function of the gutters and downpipes is to carry rainwater from the roof to the ground keeping the main structure as dry as possible.

Defective gutters and downpipes are a common cause of dampness that can, in turn, lead to the deterioration of the property. Regular inspection and adequate maintenance are therefore essential if serious problems are to be avoided.

Gutters and Downpipes

The property predominantly has plastic gutters and downpipes to the front and rear. There is also an internal gutter to the single pitched side roof. We would comment that they are an awkward layout that could be improved.



Joist to right gutter looks to be a different size, looks to have had a mastic repair – likely to be leaking

The rear hopper head is quite small and likely to be overflowing, discharging water down the wall.

We would also comment that the rear flat roof does not look to have any guttering at all and unfortunately due to the way the soil and vent pipe and wastes pipes are constructed it will be hard to put a gutter there.



Hopper head to rear likely to be overflowing
~ Aerial View - 360 Photo ~

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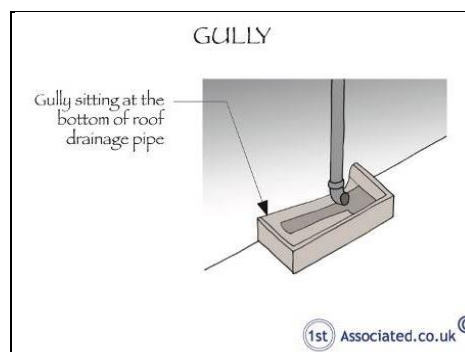
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Downpipes feed directly into the ground

We believe the downpipes feed directly into the ground. This is a practice we are not particularly keen on, we much prefer to see them going into a gully. This needs to be double checked.



Gully

ACTION REQUIRED: Replace rear hopper head with a larger hopper head, also improving the lead detailing, as well as of course putting in a gutter to the rear flat roof.

We would recommend you stand outside the property next time it rains heavily and see how well the drains cope with the rainwater particularly looking at the guttering and the joints.

We also recommend that the gutters and downpipes are cleaned out, the joints are checked and the alignment checked to ensure that the gutters fall towards the downpipes.

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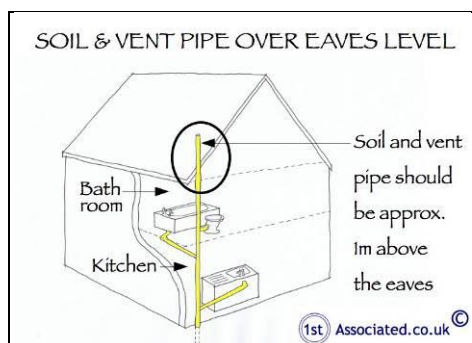
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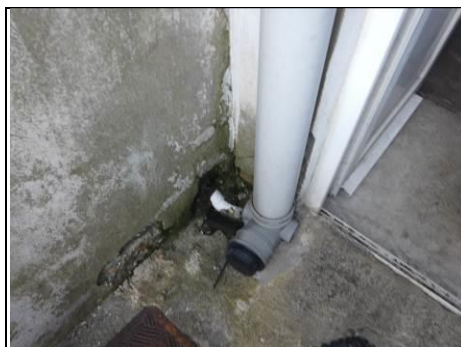
Soil and Vent Pipe

The soil and vent pipes are plastic to the rear left. Normally they are taken to above roof level.

It has a number of different fixtures going into it incorrectly and we believe it to be an illegal fitting.



Soil and vent pipe should be above eaves of roof



Base of soil and vent pipe - does not look to be legally fitted



Rear soil and vent pipe, with different fixtures going through it

To fit new drains often you need Building Regulations permission. It looks like the kitchen has been relocated and this drainage has been added.

ACTION REQUIRED: Your legal adviser to check and confirm if Building Regulations Approval has been obtained for these soil and vent pipes to discharge into the drains.

Also, as mentioned, it is below roof level and we recommend it is increased in height above the eaves of the roof, which will be an awkward detail given its position.

ANTICIPATED COST: Few hundred pounds to increase the soil and vent pipe; please obtain quotes before you legally commit to purchase.

Finally, gutters and downpipes and soil and vent pipes have been inspected from ground level. As it was not raining at the time of the inspection it is not possible to confirm one hundred percent that the rainwater installation is free from blockage, leakage etc. or that it is capable of coping with long periods of heavy rainfall. Our comments have therefore been based on our best assumptions.

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WALLS

External walls need to perform a variety of functions. These include supporting upper floors and the roof structure, resisting dampness, providing adequate thermal and sound insulation, offering resistance to fire and being aesthetically presentable.

The property is built with painted and unpainted brickwork, with areas of painted render to the rear.

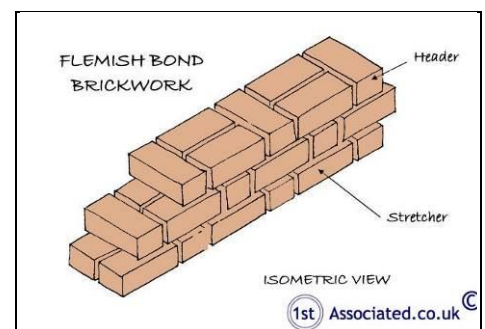
Brickwork

This property is finished in a Flemish bond brickwork. The brickwork is effectively a cladding around the structural frame.

The term Flemish Bond relates to the way the bricks are bonded together and have a pattern visible from the outside of the property that shows the end of the brick (header), then the side of the brick (stretcher), then the end of the brick, then the side of the brick, and this pattern repeats course after course, i.e. header-stretcher, header-stretcher.



Flemish bond brickwork to rear
~ Aerial View - 360 Photo ~



Flemish bond brickwork

Timber lintels and bonding timbers

Before the 19th Century, the practice of building timbers into external walls was almost universal. These were known as bonding timbers. They are of course prone to rot as solid walls allow dampness through. Unfortunately, without opening up the structure, we are unable to confirm if this is the case.

Condition

Generally Flemish Bond brickwork is liable to penetrating dampness internally, dependent upon the condition of the brickwork and the exposure to the weather. It is essential that external faces be kept in good condition.

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Cracking

We noted cracking to the brickwork to the rear.



Crack running down rear wall
~ Aerial View - 360 Photo ~



Crack running up left side
~ Aerial View - 360 Photo ~

ACTION REQUIRED: Please see our comments in the Executive Summary.

Render

There is some painted render at low level to the rear. It is cracking and generally weathered.

Also we think rainwater discharging off the flat roof may be affecting it. We cannot be certain as we were not there on a rainy day, however it does look this way.



Deteriorating render to rear with
timber lintel over window

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Crack to rear render



Crack below window to rear

ACTION REQUIRED: Please see our comments in the Executive Summary.

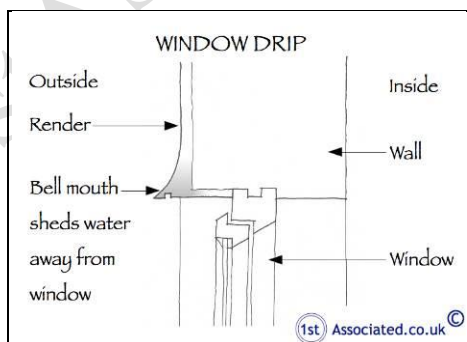
Resolve the rear flat roof problems, then carry out re-rendering.

Please also see our comment that you may ultimately have to re-render/render all walls as think there may be lateral dampness problems.

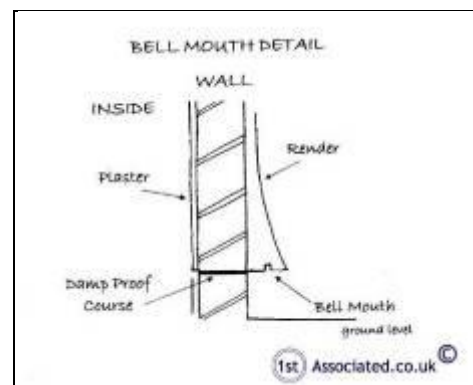
Render Detailing

You can normally whether the render is good or not by the drip detail over the window and the bell mouth to the base of the property.

In this case we would comment that there was no drip detail nor bell mouth detail to the base of the wall.



Window drip



Bell mouth detail

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Painted render

Do not underestimate the amount of time/cost it will take to repaint the property.

Finally, the external walls have been inspected visually from ground level. Where the window and door lintels are concealed by painted and unpainted brickwork / painted render / plasterwork we cannot comment on their construction or condition. In buildings of this age timber lintels, concrete lintels, rubbed/gauged brick lintels or metal lintels are common, which can be susceptible to deterioration that is unseen, particularly if in contact with dampness.

Our comments have been based upon how the painted and unpainted brickwork / painted render / plaster has been finished. We have made various assumptions based upon what we could see and how we think the painted and unpainted brickwork / painted render / plaster would be if it were opened up for this age, style and type of construction. We are however aware that all is not always as it seems in the building industry and often short cuts are taken. Without opening up the structure we have no way of establishing this.

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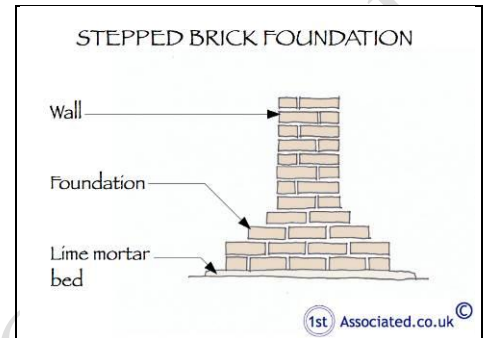


FOUNDATIONS

The foundations function is, if suitably designed and constructed, to transfer the weight of the property through the soil. As a general comment, many properties prior to the 19th Century have little or no foundations, as we think of them today, and typically a two-storey property would have one metre deep foundations.

Foundations

Given the age of the property you may find different depths of foundations. We would expect to find a stepped brick foundation possibly with a bedding of lime mortar.



Stepped brick foundation

Clay

It should be noted that we think this area sits on clay, as we also noted movement in a nearby property.

Clay has two properties; one of which is it retains water and the other is that it moves depending upon its water content. It is therefore more susceptible than most conditions should drains leak or trees be allowed to overgrow, or if it is within a water course, etc. It is not unusual to have some settlement in properties built in clay.



Movement in nearby property

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Insurance

You should ensure that the Building Insurance Policy contains adequate provision against any possibility of damage arising through subsidence, landslip, heave etc.

It is your responsibility to check out prior to commitment to purchase that insurance is available on the property on the basis of the things we have reported in the survey. Much as we would like to we are unable to keep up with the changing insurance market and give you advice with regard to this.

We would always recommend staying with the existing insurance company, and then if there are any problems you should not have the difficulty of negotiating with two insurance companies passing the blame between each other.

We would refer you to our comments with regard to building insurance throughout this report.

Cracks

Please remember to talk about any cracks identified within the property. Often insurers will refer to progressive and non-progressive cracking. Unfortunately this is something we are unable to comment upon from a one-off inspection; the Building Research Establishment recommend a year of monitoring of any cracking.

Finally, we have not excavated the foundations but we have drawn conclusions from our inspection and our general knowledge of this type, age and style of property.

As no excavation has been carried out we cannot be one hundred percent certain as to how the foundation has been constructed and we can only offer our best assumptions and an educated guess, which we have duly done.

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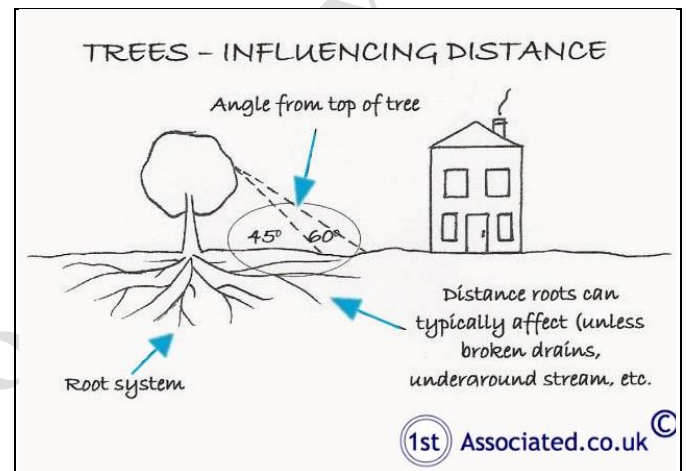
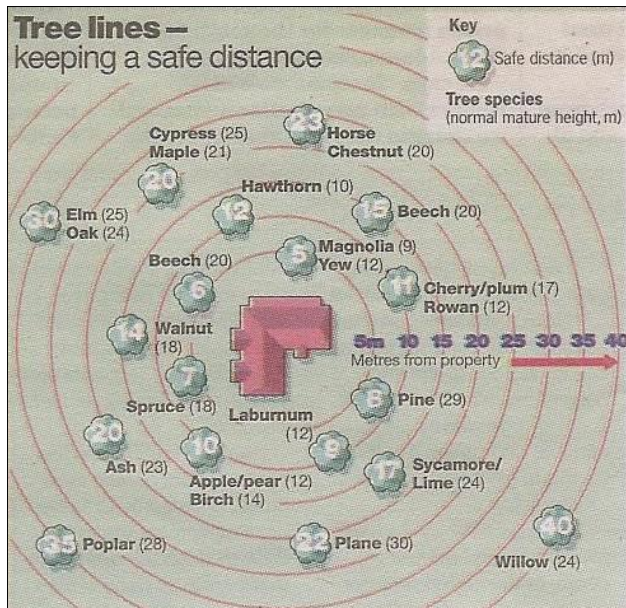
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TREES

Trees within influencing distance of a property can affect the foundations by affecting the moisture content of the soil.

There are no trees within what we would term as influencing distance but you do need to speak to your insurance company as they may have a different interpretation for insurance reasons.



Influencing distance of trees to a property

Influencing Distance Defined

This is the distance in which a tree may be able to cause damage to the subject property. It is not quite as simple as our sketch; it depends on the tree, its maturity, the soil type etc., etc.

Finally, insurance requirements with regard to trees have varied over the years and in our opinion have got ever more onerous. We have seen the notifiable distance of a tree away from a property to have been reduced over the years and we reiterate our comments elsewhere within this report that you need to make enquiries with regard to the insurability of your property in relation to trees and other features when you purchase the property.

Please also refer to the External Areas Section.

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DAMP PROOF COURSE

The Building Act of 1878 required a damp proof course to be added to all newly built properties within the London area. It also required various other basic standards. These requirements were gradually taken up (or should that be grudgingly taken up) throughout London and then the country as a whole, although this took many years for it to become standard practice.

All modern properties should incorporate a damp proof course (DPC) and good building practice dictates that a differential of 150mm (6 inches) should be maintained between the damp proof course and ground levels. In this case, this era of property would not originally have had a DPC.

To the rear, depending on how old the flat roof extension is, there may be a DPC. Typically this type of thing would have been built in the 1960's, but we do not have details relating to it. If it was built in the 1960's then it would probably have had a bitumen DPC built in.

Finally, sometimes it is difficult for us to identify if there is a damp proof course in a property. We have made our best assumptions based upon our general knowledge of the age, type and style of this property.

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AIRBRICKS



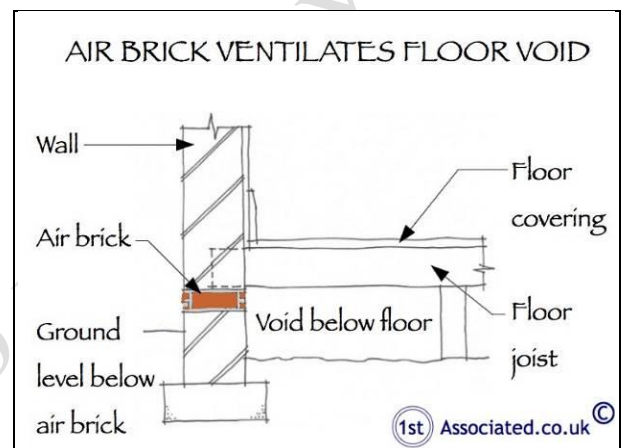
In properties with suspended floors you need to have an airflow beneath to stop deterioration. The air is allowed to pass under the property by the use of airbricks. Generally the rule of thumb is that airbricks are spaced every metre and a half approximately, but this depends upon the specific circumstances of the property.

Low Level Air Bricks

In this case we have not noted any airbricks but we would comment that typically properties of this era would have had a suspended floor.

If this is the case then it needs to have airbricks under it to help minimise wet rot, dry rot and woodworm.

ACTION REQUIRED: Add airbricks to allow airflow under the building.



Air brick ventilates floor void

Ideally we recommend opening up a section of the floor before you legally commit to purchase the property to establish its condition. We would open up in at least three areas of one metre squared, one to the front shop area, one to the dispensary area and one to the corridor to the rear.

Finally, we have made our best assumptions based upon our visual inspection of the outside of the property and our general knowledge of this age, type and style of construction. We have not opened up the floor, unless we have specifically stated so in this section.

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EXTERNAL DETAILING

This section covers fascias, soffits and bargeboards and windows and doors, and any detailing such as brick corbelling etc.

Fascias and soffits offer protection to the rafter feet and also allow the securing of the guttering. Windows primary functions are to admit light and air, but they also have thermal and sound properties. The doors allow access and egress within the property.

Fascias and Soffits

The fascias and soffits are timber. They are painted and we would comment they are in weathered condition for their age, type and style.

ACTION REQUIRED: Make sure gutters and downpipes are watertight before carrying out any work on fascias and soffits.



Fascias and soffits

Windows and Doors

The windows are metal double glazed windows without trickle vents. They are in below average condition for their age, type and style.

We would draw your attention to the fact that sealed double glazed units can fail, particularly as a result of poor workmanship during installation. Failure of the seal leads to condensation between the two panes of glass and simply replacing the affected units may not provide a satisfactory long-term solution.

In this case many of them were mastic sealed or taped up and generally look to have problems. In addition to this some of the windows are misting over and unopenable/unclosable.



Misting over window in middle bedroom



Front bedroom window taped up

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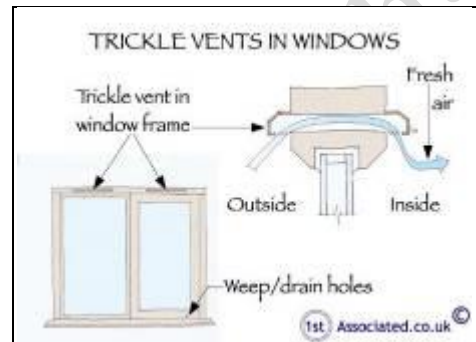


ACTION REQUIRED: Please see our comments in the Executive Summary.

We recommend new windows are installed.

Trickle Vents Defined

Trickle vents allow a trickle of air through, therefore stopping/reducing the likelihood of condensation occurring within the property.



Trickle vents

Finally, we have carried out a general and random inspection of the external joinery. In the case of the fascias and soffits it is typically a visual inspection from ground level. With the windows and doors we have usually opened a random selection of these during the course of the survey. In this section we are aiming to give a general overview of the condition of the external joinery. Please also see the Internal Joinery section.

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EXTERNAL DECORATIONS

The external decorations act as a protective coat for the building from the elements. Where this protective covering has failed, such as with flaking paintwork, the elements will infiltrate the structure. This is of particular concern as water is one of the major factors in damage to any structure.

From the presentation of the property we would recommend redecorating as soon as possible, but you will need to sort out the associated problems.

ACTION REQUIRED: We recommend redecorating in the summer/warmer months.

Finally, ideally external redecoration is recommended every four to five years dependent upon the original age of the paint, its exposure to the elements and the materials properties. Where painting takes place outside this maintenance cycle repairs should be expected. Ideally redecoration should be carried out during the better weather between mid-April and mid-September.

Please see our comments in the External Joinery section.

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INTERNAL

CEILINGS, WALLS, PARTITIONS AND FINISHES

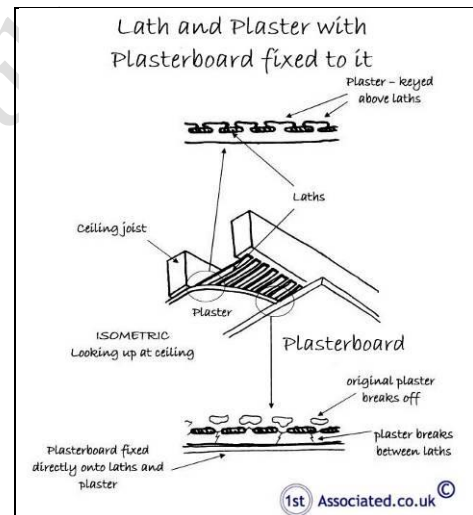
In this section we look at the finish applied to the structural elements such as the plasterwork applied to the ceiling joists, walls or partitions, together with the construction of the internal walls and partitions.

Ceilings

Where we could see the ceilings from the rear roof space we could see that originally they were lath and plaster, some of which remains. We can also see plasterboard or proprietary boarding has been replaced the lath and plaster. Sometimes it is also over-clad and looks to be the case in this instance.



Old laths above
plasterboard/proprietary boarding



Lath and plaster with plasterboard
or proprietary boarding tacked on

We would remind you that we have only seen into the rear roof and have not had access to the front roof.

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Front roof, water getting in

We noted leaks to the front bedroom ceiling.



Damp staining to front bedroom to left side



Damp staining in front bedroom to right side

ACTION REQUIRED: Please see our comments in the Executive Summary.

Lath and Plaster Defined

Laths are thin strips of timbers which are fixed to the structure. Wet plaster is applied to the laths, usually in several layers. The plaster forms a key as it is forced between the laths. This plaster, once dry, is given further coats and often a decorative finish.

Plasterboard Defined

The usual name for Gypsum plasterboard which is building board with a core of aerated gypsum, usually enclosed between two sheets of heavy paper, used as a dry lining

Internal Walls and Partitions

The walls are a mixture of solid and studwork, however there was more studwork than we typically come across indicating that walls have been removed/altered.

We did have a look on Right Move to see if there were any typical patterns to the way these properties are laid out, unfortunately when we looked in this postcode area we could not see any appropriate floor plans we could use to see how things have changed in this case.

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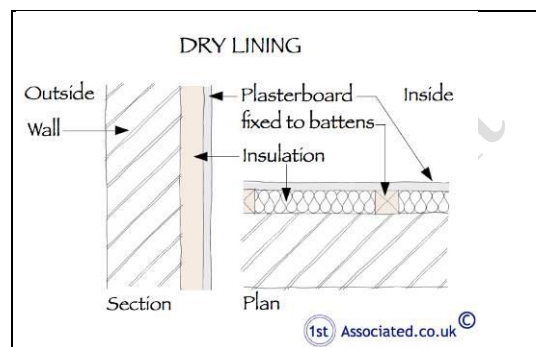


It is of course impossible to determine the construction without opening up the walls and have therefore taken an educated guess.

Perimeter Walls

We believe the perimeter walls are a mixture of old lime plaster and modern wet plaster.

There is dry lining/false walling in the room in the roof, which hid the construction;



Dry lining

For example:

We wanted to check if the chimney is in place.

ACTION REQUIRED: Ideally open up the dry lining to check the construction. This would also allow access to view the roof to the front of the property.

This comment has been based on the visual look of the wall which is relatively “smooth” and normally means a modern finish.

Again, we cannot be one hundred percent certain of the wall construction without opening them up which goes beyond the scope of this report.

Walls removed

There has been an opening formed in the perimeter wall to give access into the rear office and also to give access out of the building, into the side extension.

ACTION REQUIRED: Your legal adviser to check and confirm Building Regulations Approval has been obtained for this.

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Finally, ceilings, walls and partitions have been inspected from floor level and no opening up has been undertaken (unless permission has been obtained by yourselves). In some cases the materials employed cannot be ascertained without samples being taken and damage being caused.

We cannot comment upon the condition of the structure hidden behind plaster, dry lining, other applied finishes, heavy furniture, fittings and kitchen units with fitted back panels.

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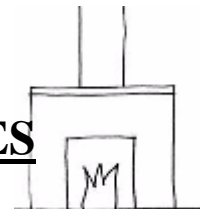
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CHIMNEY BREASTS, FLUES AND FIREPLACES



With the advent of central heating fireplaces tend to be more a feature than an essential function in most properties.

We have not been able to visually see the chimney breasts. We think they have been removed. They should have been supported.

ACTION REQUIRED: Please see our comments in the Executive Summary.

Finally, we will comment on the condition of the chimney breast where we can see the chimney breast. If we can see a chimney breast has been removed we will inspect for signs of movement and advise. However, often the chimney breasts are hidden so we cannot comment. Also additional support can be concealed very well when chimney breasts are hidden particularly when plastered over.

Your Legal Advisor needs to specifically check with the Local Authority for removed chimneys and associated chimney breasts and Building Regulations Approvals and advise by e-mail immediately if chimney breasts are found to have been removed. We would recommend opening up the structure to check the condition. If we are not advised we will assume the relevant Building Regulations Approval has been obtained.

It is strongly recommended that flues be cleaned and checked for obstructions prior to use to minimise the risk of hazardous fumes entering the building.

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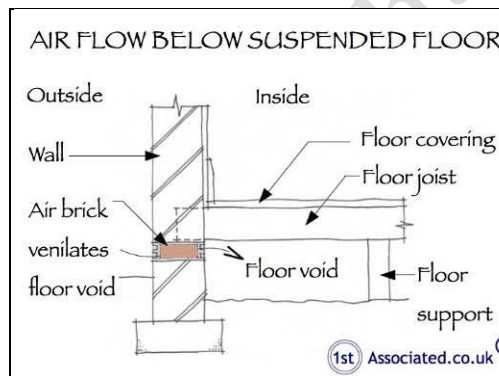
FLOORS

Functionally floors should be capable of withstanding appropriate loading, preventing dampness, have thermal properties and durability. In addition to this upper floors should offer support for ceilings, resistance to fire and resistance to sound transfer.

Ground Floor

Most properties of this age, type and style would have a suspended floor, which require air movement underneath to minimise wet rot, dry rot and woodworm.

The floors have been covered so this is difficult to ascertain if this is still the case, although we do think it is likely.



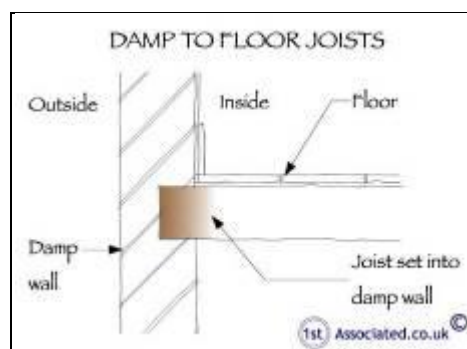
Suspended timber floor

ACTION REQUIRED: Please see our earlier comments relating to the flooring in the Airbricks Section of this report.

We recommend the floors are opened up in three areas before you legally commit to purchase the property.

First Floor

We have assumed that the first floor construction is joist and floorboards with embedded timbers, as this is typical in this age of property.



Embedded timbers

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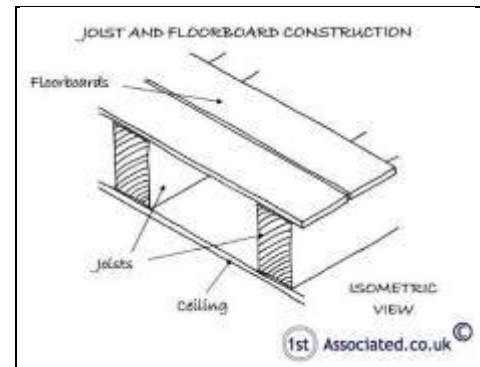
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Joist and Floorboard Construction Defined

These are usually at first floor level consisting of a joist supported from the external walls, either built in or, in more modern times, sitting upon joist hangers, sometimes taking additional support from internal walls, with floorboards fixed down upon it.



Joist and floorboards

Room in the Roof

We believe these are likely to be converted ceiling joists.

ACTION REQUIRED: Your legal adviser needs to check and confirm this is a legal conversion. We typically find the following problems:

1. Fire regulations have not been met, i.e. no fire doors.
2. A fire alarm system throughout the entirety of the property that is hardwired into the mains and is interlinked so you know if there is a fire on the bottom floor when you are on the top floor.
3. Non-changing of the ceiling joists into floor joists.

Finally, we have not been able to view the actual floors themselves due to them being covered with fitted carpets, floor coverings, etc. The comments we have made are based upon our experience and knowledge of this type of construction. We would emphasise that we have not opened up the floors in any way or lifted any floorboards.

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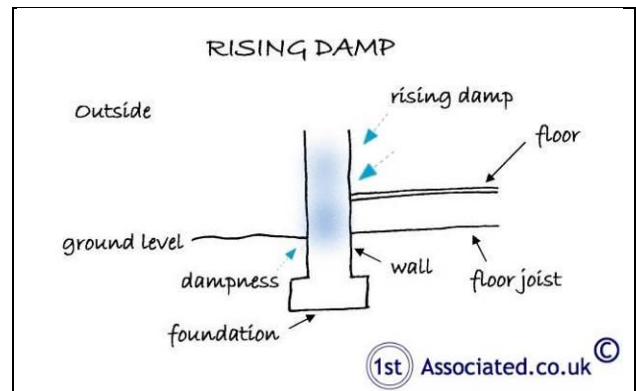


DAMPNESS

In this section we look at any problems that are being caused by dampness. It is therefore essential to diagnose the source of the dampness and to treat the actual cause and not the effect of the dampness.

Rising Damp

Rising damp depends upon various components including the porosity of the structure, the supply of water and the rate of evaporation of the material, amongst other things. Rising damp can come from the ground, drawn by capillary action, to varying degrees of intensity and height into the materials above.



Rising damp

A visual inspection and tests with a moisture meter have been taken to the perimeter walls. In this particular case we have found some areas of dampness.

We suspect we would have found more dampness if we had had access to the walls. As mentioned, there were a lot of stored items/shelving, also items of waste.



Checking for rising damp

ACTION REQUIRED: Please see the Executive Summary.

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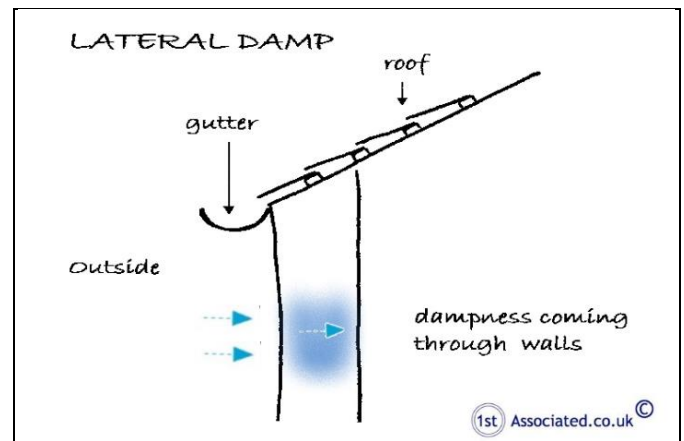
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Lateral or Penetrating Dampness

This is where water ingress occurs through the walls. This can be for various reasons such as poor pointing or wall materials or inadequate gutters and downpipes, such as poorly jointed gutters.



Lateral damp

We used a resistance meter on the external walls. We have not found significant dampness, however we do think this property may have a problem with lateral dampness in the area generally, looking at the surrounding properties.

ACTION REQUIRED: Please see our comments in the Executive Summary and elsewhere within this report.



Testing for lateral damp by staining by stairs to room in roof

Condensation

This is where the humidity held within the air meets a cold surface causing condensation.

At the time of the inspection there were obvious signs of condensation in the form of black mould in the bathroom.

Condensation depends upon how you utilise the building. Common sense is needed and a balance between heating, ventilation of properties and opening windows to air the property regularly.

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Extract fans in kitchens and toilets

A way of helping to reduce condensation is to have good quality large extract fans with humidity controlled thermostats within the kitchens, bathrooms and toilets.

ACTION REQUIRED: We would recommend large good quality humidity controlled extract fans be added to kitchens, bathrooms and toilets.

Please see our comments in the Executive Summary.

ANTICIPATED COST: We would anticipate costs between £250 - £500 per extract fan depending upon the wiring required; quotations required.

Finally, effective testing was prevented in areas concealed by heavy furniture, fixtures such as kitchen fittings with backboards, wall tiles and wall panelling. We have not carried out tests to BRE Digest 245, but only carried out a visual inspection.

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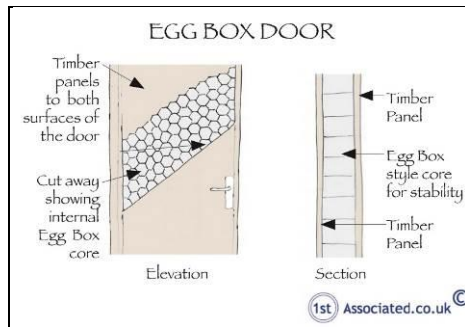


INTERNAL DETAILING

This section looks at the doors, the stairway, the skirting boards and the kitchen to give a general overview of the internal joinery's condition.

Doors

The doors are hollow core doors, often known as egg box doors.



Hollow core door/egg box door



Hollow core door/egg box door in kitchen, which was literally coming off its hinges at time of survey

Fire Doors

In a property such as this it is fire doors that we are most concerned about as fire doors offer a break in a worst case scenario where a fire occurs we therefore recommend checking the doors around the stairs area (as this will be your fire escape area and also will be a way the fire can spread) and kitchen and any other high risk area where there are fire doors in place and working properly.

ACTION REQUIRED: The entirety of the fire system requires testing and an overall fire plan putting into place.

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Staircases

The staircases, in a worst case scenario of a fire, offer an escape route. You need to ensure that these have a fire protective barrier of half an hour to an hour, depending upon other factors in the property.

ACTION REQUIRED: We have mentioned speaking to a Fire Specialist who may be able to advise you on this.

Kitchen

We found the kitchen in poor condition. We believe the electrics to be dangerous and need immediate attention.

ACTION REQUIRED: We recommend the electrics are no longer used until an electrician upgrades the electrics to make them safe.

Please see our comments in the Executive Summary.

We have not tested any of the kitchen appliances.

Staff Room/Office

We noted there is no staff room.

There is an office to the rear. Please see our comments about the poor condition of the roof above and water is being discharged down the walls of the property.

Finally, it should be noted that not all joinery has been inspected. We have viewed a random sample and visually inspected these to give a general overview of the condition. Please also see the External Detailing section.

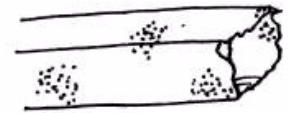
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TIMBER DEFECTS



This section considers dry rot, wet rot and woodworm. Wet and Dry rot are species of fungi, both need moisture to develop and both can be very expensive to correct. We would also add that in our experience they are also often wrongly diagnosed.

Dry Rot/White Rot

*Dry rot is also sometimes known by its Latin name *Serpula lacrymans*. Dry rot requires constant dampness together with a warmish atmosphere and can lead to extensive decay in timber.*

We have not visually seen any significant dry rot during the course of our inspection. We would advise that we have not opened up the floors and we had a limited view of the rear roof and have not viewed the front of the roof.

Wet Rot/Brown Rot

*Wet rot, also known by its Latin name *Contiophora puteana*, is far more common than dry rot. Wet rot darkens and softens the wood and is most commonly seen in window and doorframes, where it can relatively easily be remedied. Where wet rot affects the structural timbers in a property, which are those in the roof and the floor areas, it is more serious.*

We have seen some wet rot in the rear roof area, which is a known about problem by whoever owns the property, as they have added extra timbers to support the roof. Also they have felted over areas on the roof.

Again, we would advise that we have not opened up the floors and we had a limited view of the rear of the roof and have not viewed the front of the roof.

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Woodworm

Active woodworm can cause significant damage to timber. There are a variety of woodworm that cause different levels of damage with probably the worst of the most well known being the Death Watch Beetle. Many older properties have woodworm that is no longer active, this can often be considered as part of the overall character of the property.

The roof is the main area that we look for woodworm. We have not been able to view the front of the roof so cannot comment. Within the rear roof we found no obvious visual signs of significant woodworm activity or indeed past signs of significant woodworm activity that has caused what we would term 'structurally significant' damage. In many properties there is an element of woodworm that is not active.

Our inspection is usually restricted by insulation covering some of the timbers and general stored items in the roof, as it is restricted throughout the property by general fixtures and fittings.

ACTION REQUIRED: If you wish to be one hundred percent certain that there is no woodworm the only way would be to check the property when is emptied of fixtures and fittings etc.

Finally, when you move into the property, floor surfaces should be carefully examined for any signs of insect infestation when furniture and floor coverings are removed together with stored goods. Any signs that are found should be treated to prevent it spreading. However, you need to be aware that many damp and woodworm treatment companies have a vested interest in selling their products and therefore have fairly cleverly worded quotations where they do not state if the woodworm they have found is 'active'. You should ask them specifically if the woodworm is active or not.

We would also comment that any work carried out should have an insurance backed guarantee to ensure that if the company does not exist, or for whatever reason, the guarantee is still valid. More importantly it is essential to ensure that any work carried out is carried out correctly.

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INTERNAL DECORATIONS

With paints it should be remembered that up to 1992 lead could be used within paint and prior to this most textured paints (commonly known as Artex) contained an element of asbestos up to 1984, so care should be taken if the paintwork looks old and dated.

Internal decorations are in average condition in the front of house shop area, however they are in poor condition to back of house areas and in very poor condition in the private living accommodation.

Finally, we would draw your attention to the fact that removal of existing decorative finishes may cause damage to the underlying plasterwork necessitating repairs and making good prior to redecoration.

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THERMAL EFFICIENCY

Up until the mid 1940s we did not really consider thermal efficiency in properties. Post war insulation started to be introduced as part of the mass rebuilding program. In the 1970s due to the fuel crisis thermal efficiency means were introduced. In more recent years there has been an emphasis on energy efficiency with the limited fossil fuels and our environmental impacted.

Whilst we like innovation in the property industry, and it is something that is poor when compared to other industries, care has to be taken with new technologies and new ways of building to ensure we do not cause other problems.

Roofs

We cannot establish if the roof is insulated in the front of the roof as we have not been able to view the roof structure.

In the rear of the roof some roof insulation was present although not to current Building Regulations requirements of 300mm. In this instance there is no insulation. We recommend you add controlled ventilation if you add insulation.

Walls

The walls to this property are solid. It is very difficult to improve thermal efficiency in solid wall construction without major alterations. These will usually affect the external appearance or reduce the internal space – best left alone.

Windows

The windows are double glazed. They are misted over so do not believe they have as good thermal properties as they should have.

Services - Boiler

The boiler is relatively new. Service records should be obtained. It is essential for the services to be regularly maintained to run efficiently.

ACTION REQUIRED: We would recommend you ask the owners for a Gas Safe Certificate, if you have not already seen one, energy bills and service records for the past few years etc.

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Summary

Assuming the above is correct, this property is below average compared with what we typically see.

Further information can be obtained with regard to energy saving via the Internet on the following pages:

HTTP//www.est.org.uk, which is by the Energy Saving Trust and includes a section on grant aid.

or alternatively www.cat.org.uk (Centre for Alternative Technology)

*or Sustainable Energy Without the Hot Air by David J C MacKay
HTTP//www.withouthotair.com/Videos.html to download for free or buy a paper copy as we did.*

It is worth watching the video How Many Light Bulbs? by David J C MacKay – can be viewed on YouTube

HIPs

We understand that HIPs were suspended from 20th May 2010. Energy Performance Certificates are required before a sale completes.

Finally, we would comment that energy we feel will become a major consideration in years to come, particularly with the greater focus in modern buildings on energy efficiency.

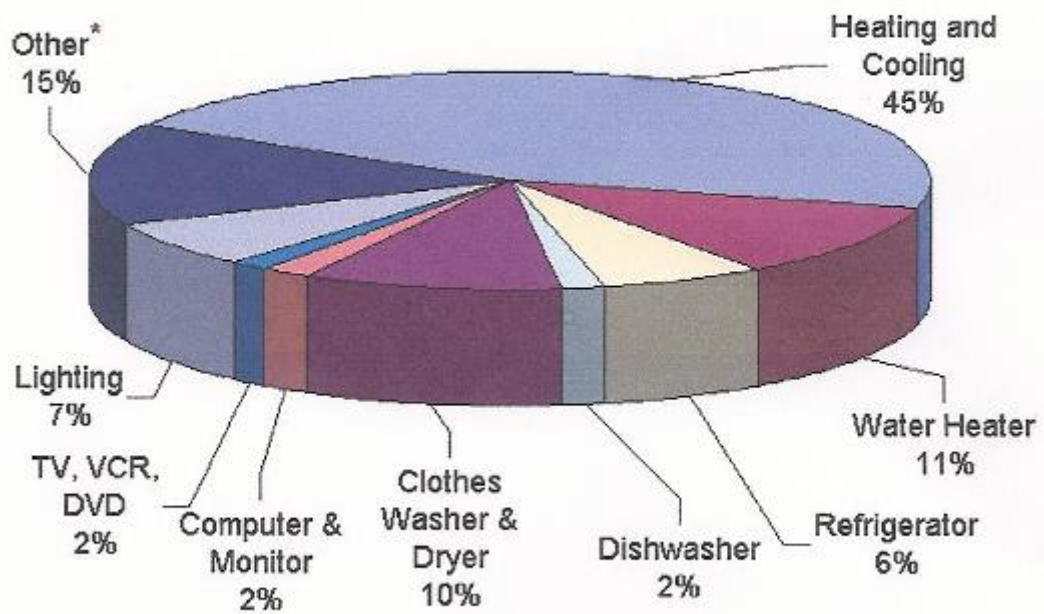
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What does my energy bill pay for?



* "Other" represents an array of household products, including stoves, ovens, microwaves, and small appliances. Individually, these products account for no more than about 2% of a household's energy bills.

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OTHER MATTERS

In this section we put any other matters that do not fit under our usual headings.

Security

We noted an alarm box to the rear. A good alarm system should not only help reduce break-ins but also help reduce your insurance. We are not experts in this field and therefore cannot comment further.

ACTION REQUIRED: Further information should be obtained from the vendor and the installer.



Felt alarm box
~ Aerial View - 360 Photo ~

Fire / Smoke alarms

We did not see any smoke alarms.

We believe the private living accommodation would be better if they had fire doors, as well as a hard wired fire alarm system throughout the whole property.

At the time of our inspection the only fire escape we could see from the upstairs area was blocked by stored items, which should be avoided at all cost.



Fire exit sign not illuminated. Rear door was blocked by stored items at time of survey

Also there are no illuminated fire exit signs.

ACTION REQUIRED: Please see our comments in the Executive Summary.

We feel the property is lacking/dangerous from a fire safety point of view and legal regulations.

We would always recommend a hard wired fire alarm system and are also aware that some now work from a wireless signal which may be worth

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investigating. Whilst fire is relatively rare it is in a worst case scenario obviously devastating.

Please see our comments elsewhere within the report.

Insurance

You should ensure that the Building Insurance Policy contains adequate provision against any possibility of damage arising through subsidence, landslip, heave etc.

It is your responsibility to check out prior to commitment to purchase that insurance is available on the property on the basis of the things we have reported in the survey. Much as we would like to we are unable to keep up with the changing insurance market and give you advice with regard to this.

We would always recommend staying with the existing insurance company, and then if there are any problems you should not have the difficulty of negotiating with two insurance companies passing the blame between each other.

We would refer you to our comments with regard to building insurance throughout this report.

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SERVICES

This survey does not include any specialist reports on the electricity supply and circuits, heating or drainage, as they were not requested. The comments that follow are based upon a visual inspection carried out as part of the overall Survey.

Services and specialist installations have been visually inspected. It is impossible to examine every detail of these installations without partially dismantling the structure. Tests have not been applied. Conclusive tests can only be undertaken by suitably qualified contractors. The vendor/seller should be requested to provide copies of any service records, test certificates and, ideally, the names and addresses of the installing contractors.

BROADBAND CONNECTIVITY

We are sometimes asked with regard to the Broadband Connectivity in the area. We have identified some websites which we believe are useful for this:

<https://www.broadband.co.uk/>

Advises whether there is phone line broadband or Superfast or Ultrafast broadband in an area.

<https://www.ofcom.org.uk/>

Allows you to check broadband availability, check mobile availability and run a speed test.

We would also recommend speaking to the neighbours to see what they have used and of course it is always good to get to know your neighbours.

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Electrics

The electrics are dated and tripped twice when we carried out our earth test. They electrics in the kitchen should not be used until immediate work is undertaken.



Dated fuse board



First earth test failed, with two red lights showing



Second earth test failed

ACTION REQUIRED: Please see our comments in the Executive Summary.

We would recommend a specialist electrical contractor is appointed immediately to carry out work to the electrics.

Lighting

The current lighting is dated. You need a specialist to check and confirm the lighting is appropriate for how you intend to use the building.

ACTION REQUIRED: The lighting should be appropriate for the use and upgraded as necessary.

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Heating

The property has a Heatline boiler heating system and some electric heaters.



Heatline boiler



Boiler flue to rear
~ Aerial View - 360 Photo ~

ACTION REQUIRED: Please see our comments in the Executive Summary.

Fuel – Gas/Oil

The respective safety standards to be applied and most full repairing and insuring leases require a test certificate. All services to Gas Safe Standard or equivalent.

Plumbing

There is copper piping where we noted it.



Plumbing opened up

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Drains

We have not carried out a drainage test. We would recommend that a closed circuit TV camera report is carried out.

ACTION REQUIRED: Please see our comments in the Executive Summary.



Rear manhole

Service / Supply Pipes

We have not checked the service/supply pipes other than running the taps for approximately fifteen minutes in the first floor kitchen, which was okay and flowed away.

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EXTERNAL AREAS

Rear Garden

This was full of stored items/waste materials at the time of the survey, which will need clearing. There is access to the rear garden via a gate into the alleyway behind.

There is a shed to the end of the garden, which we believe has an asbestos roof.

A timber fence panel is down to the right side.



Rear garden, full of rubbish and stored items and broken fence panel to right side
~ Aerial View - 360 Photo ~



Shed to rear of garden



Poor quality blockwork to rear wall



Alley way to rear



Gate to rear

ACTION REQUIRED: The garden should be cleared as soon as possible. We consider it a health hazard as it presently is.

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Please see our comments in the Executive Summary.

Boundaries

The left hand boundary (all directions given as you face the property) is usually the responsibility of the subject property.

Often with older properties the boundaries are subject to negotiation and local practice. You do need to make sure that your solicitor is aware of the complications that can occur with older property boundaries.



Rear right fence panel down

There is normally a 'T' marking which boundary is yours on the deeds which you can obtain from Land Registry.

The rear right fence was down at the time of the survey and as a good will gesture you may wish to replace this, as it looks as though it has been knocked over by your stored items.

Finally, whilst we note the boundaries, these may not be the legal boundaries. Your Legal Advisor should make further enquiries on this point and advise you of your potential liability with regard to any shared structures, boundary walls and fences.

Neighbours

We assume as you already lease the property you are familiar with the neighbours.

ACTION REQUIRED: We would recommend that you visit the neighbours in whatever Covid safe way you can.

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STATUTORY REQUIREMENTS

Fire Safety/Fire Alarms/Emergency Lighting

ACTION REQUIRED: Specialist advice should be sought

Disability Discrimination Act

You should be aware that it is now a requirement to give reasonable access to the disabled and make reasonable amendments to the property as is necessary.

ACTION REQUIRED: You should ask to see if a report has been carried out in line with the Disabilities Act highlighting areas that can be improved or have been improved. You should have a policy in place with regard to the Disability Discrimination Act.

Asbestos Register

In a property of this age there may well be some asbestos. This was commonly used post war until it was banned relatively recently, although it is rumoured that it was still used after this point in time. In this instance the shed in the rear garden has an asbestos roof.

It is now a requirement for any public building to have an asbestos register, indicating whether there is or is not asbestos and if so where it is.

ACTION REQUIRED: An Asbestos Register should be provided by the outgoing owner/occupier.

You should note that work involving products containing asbestos is covered by Health and Safety legislation and you are recommended to seek the advice of the Local Authority Environmental Health Officer before proceeding with any such work.

Our insurance company requires us to advise we are not asbestos surveyors and advises us to recommend asbestos surveyors are instructed and that you have your own asbestos survey carried out.

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Certificates to be obtained from owner/occupier

Test certificates to be provided on:-

1. Electrics – An Institution of Engineering and Technology (IET) test and report to be carried out by an NICEIC registered and approved electrical contractor or equivalent.
2. Space heating inspection and test report (you need to see these in working order)
3. Asbestos - up to date asbestos report with samples.
4. Drainage – closed circuit TV camera report.
5. Fire Safety/Fire Alarms/Emergency Lighting - we recommend you have a Fire Specialist to review the building prior to legally committing to purchase.
6. Lighting - The lighting needs to be checked to ensure it is suitable for the purposes for which you wish to use it.
8. Any other specialist testing appropriate to your business as a pharmaceutical company.
9. Gas Safe Certificate.

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It is our policy not to offer a conclusion to ensure that the Building Survey is read in full and the comments are taken in context.

If you would like any further advice on any of the issues discussed (or indeed any that have not been discussed!) then please do not hesitate to contact us on **0800 298 5424**.

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APPENDICES

1. Limitations
2. Use Classes Order

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LIMITATIONS

Our limitations are as the agreed Terms and Conditions of Engagement.

CONDITIONS OF ENGAGEMENT

The report has been prepared in accordance with our Conditions of Engagement dated XXX and should be regarded as a comment on the overall condition of the property and the quality of its structure and not as an inventory of every single defect. It relates to those parts of the property that were reasonably and safely accessible at the time of the inspection, but you should be aware that defects can subsequently develop particularly if you do not follow the recommendations.

ENGLISH LAW

We would remind you that this report should not be published or reproduced in any way without the surveyor's expressed permission and is governed by English Law and any dispute arising there from shall be adjudicated upon only by the English Courts.

SOLE USE

This report is for the sole use of the named Client and is confidential to the Client and his professional advisors. Any other persons rely on the Report at their own risk.

ONLY HUMAN!

Although we are pointing out the obvious, our Surveyors obviously can't see through walls, floors, heavy furniture, fixed kitchen units etc. they have therefore made their best assumptions in these areas.

As this is a one off inspection, we cannot guarantee that there are no other defects than those mentioned in the report and also that defects can subsequently develop.

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WEATHER

It was a warm, dry day at the time of the inspection. The weather did not hamper the survey.

As you are probably aware there has been some record breaking weather recently:

2018 being the driest start to a summer
December 2015 was the wettest month
August 2004 the wettest August on record in many areas
2003 was the driest year on record
2000 was the wettest year on record

This may have adverse effects on many buildings in years to come or the not too distant future.

NOT LOCAL

It should be noted that we are not local surveyors to this area and are carrying out the work without the benefits of local knowledge on such things as soil conditions, aeroplane flight paths, and common defects in materials used in the area etc.

OCCUPIED PROPERTY

The property was occupied at the time of our survey, which meant that there were various difficulties when carrying out the survey such as stored items within cupboards and throughout the property. We have, however, done our best to work around these.

JAPANESE KNOTWEED

We have not inspected for Japanese Knotweed. We would advise that we are finding that some mortgage valuation surveyors are setting valuations at zero on any property with Japanese Knotweed and are reluctant to lend where it is present.

A BBC news report dated April 2018 states that the latest research has been carried out by Swansea University, where they carried out trials near Cardiff and

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Swansea and tested 19 main methods of controlling the plant and they found that none of these methods eradicated it. See our article:

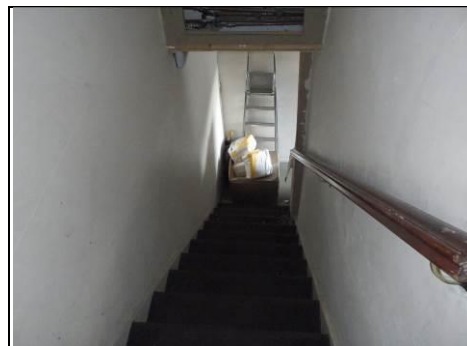
<https://buildingsurveyquote.co.uk/japanese-knotweed-buildings-and-resveratrol/>

ACTION REQUIRED: You need to carry out your own research on this matter/due diligence before you legally commit to purchase the property and be aware that it could be in neighbouring properties which you do not have direct control over.

INSPECTION LIMITED

Unfortunately, in this instance our inspection has been limited as:

- 1) We have not viewed the main roof.
- 2) We did not have a full view of the rear roof due to the insulation covering the ceiling joists and general configuration of the roof.
- 3) The mass of stored items internally and stored items/waste materials externally limited our view.
- 4) We did not open up the walls as we could not see a way of doing this without causing damage.
- 5) We did not open up the floors as we could not see a way to do it without causing damage.
- 6) We did not have the benefit of talking to the owners or them answering our usual question and answers.



Stored items at bottom of stairs a trip hazard

THANK YOU

We thank you for using our surveying services and taking the time to meet us during the building survey.

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BUILDING INSURANCE

We do not advise with regard to building insurance. You need to make your own enquiries. Some areas may have a premium, some buildings may have a premium and some insurers may be unwilling to insure at all in certain areas. You need to make your own enquires prior to committing to purchase the property. Please be aware the fact a building is currently insured does not mean it can be re insured.

We would comment that non-insurability of a building we feel will affect value. It is therefore essential to make your own enquiries with regard to insurance before committing to purchase the property and incurring fees.

ACTION REQUIRED: You need to contact an insurance company today to make enquiries with regard to insurance on this property.

TERMS AND CONDITIONS

Our computer system sends two copies of our Terms and Conditions to the email address given to us when booking the survey; one has the terms attached and the other has links to the Terms and Conditions on our website (for a limited time). If you have not received these please phone your contact immediately.

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User Classes from 1st September 2020

User Class	Use/Description
A4	Drinking establishments, pubs and wine bars
A5	Hot food takeaway such as kebab takeaway and pizza
E	Shops, professional services such as solicitors, estate agents and also restaurants which used to make up User Class A. They are now also joined in User Class E by Offices, Research and Development and Light Industrial, Health Care Centres, Day Nurseries and Clinics.
F1	This deals with institutions such as learning and non-residential institutions such as schools, gaming centres, museums, public libraries, public halls, places of worship
F2	Shops selling essential goods such as a grocery shop of not more than 218 sq m and at least 1km from another shop. These are defined as essential to the community.
F2 Assembly & Leisure for the Local Community	Halls, meeting places, local communities, swimming pools, outdoor sports areas, skating rinks and recreation.

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User Classes that stay the same

User Class	Use/Description
B2	General industrial, for example catering and car repair
B8	Storage and Distribution such as warehouses
C1	Hotels and guest houses and long term boarding
C2	Residential institutions such as nursing homes and residential school
C2a	Secure residential such as prisons, secure hospitals, military barrack
C3a	Dwelling houses, apartment for a single person or couple
C3b	Dwelling houses where care is provided for up to six people for learning disabilities, mental health problems, etc
C3c	Dwelling houses used by not more than six people for religious community, home owner living with a lodger
C4	Small houses of multiple occupation, often known as HMO's

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Sui Generis

(Pronounced Soo-ee Jen-ris – Latin meaning 'of its own kind')

	Assembly and Leisure (Noisy) such as cinema, concert hall, bingo halls and dance halls – this is a new class, was formally D2.
	Betting offices, Pay Day loans, agricultural buildings, arcades or centres, laundrettes.

Why change?

We understand the driving factors behind these changes are:

- 1) To keep the high street alive by most high street shops becoming Class A so a change of the type of premises is easier.
- 2) Control of noise or possibly buildings that can disturb the peace such as bars and nightclubs have their own classification as Sui Generis
- 3) Protecting the community such as community shop and the community meeting place.

It is not quite as simple as that, there are various restrictions.

There is a white paper called Planning for the Future that is our reference source www.gov.uk. As with anything it will be updated, amended and tested.

We would expect this information to be changed and amended from when we originally wrote this article therefore you need to seek out the latest information.

Please contact us on 0800 298 5424 if you want to know more.

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